

EXHIBIT A

Proposed Amended Development Agreement

**RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:**

**Paul Hastings LLP
515 S. Flower Street, 25th Floor
Los Angeles, CA 90071
Attn: Jeffrey S. Haber**

THIRD AMENDMENT TO
DEVELOPMENT AGREEMENT

This Amendment to Development Agreement (the “Third Amendment”) is entered into as of the ___ day of _____, 2021 by and between the CITY OF LOS ANGELES, a municipal corporation (the “City”) and CEDARS-SINAI MEDICAL CENTER (“Cedars-Sinai”).

RECITALS

- A. The City and Cedars-Sinai entered into that certain Development Agreement dated August 12, 1993, and recorded on August 16, 1993, in the Official Records of Los Angeles County, California as Instrument No. 93-1590786 (the “Development Agreement”) after adoption by the City Council of Ordinance No. 168847 and 168848 on June 23, 1993. These approvals constituted the City's approval of the Master Plan for the Cedars-Sinai Medical Center (the "Master Plan").
- B. The City and Cedars-Sinai entered into that certain amendment to the Development Agreement on August 10, 2007 to permit extension of the term of the Development Agreement to August 11, 2023, and recorded on August 13, 2007, in the Official Records of Los Angeles County, California as Instrument 20071898043 after adoption by the City Council of Ordinance No. 178866 on June 23, 2007 (the “First Amendment”).
- C. The City and Cedars-Sinai entered into that certain amendment to the Development Agreement on January 5, 2010 to amend the Development Agreement to modify the provisions relating to Zone Change Ordinance No. 180709, allowing the addition of 200,000 square feet of floor area, and recorded on January 6, 2010, in the Official Records of Los Angeles County, California as Instrument 20100017882 after adoption by the City Council of Ordinance No. 180911 on October 13, 2009 (the “Second Amendment”).
- D. The Development Agreement currently expires by its terms on August 11, 2023.

- E. Cedars-Sinai wishes to expand the Master Plan by 203 inpatient beds, in a 405,000-square-foot addition to the existing Professional and North Patient Towers and the Saperstein Critical Care Tower.
- F. The City approved Zone Change Ordinance No. _____ to allow for the expansion of the Master Plan.
- G. The City and Cedars-Sinai wish to amend the Development Agreement, pursuant to Section 6.9 thereof, to modify the provisions regarding the term of the Development Agreement to extend the term an additional 15 years to August 11, 2038.
- H. The City and Cedars-Sinai wish to amend the Development Agreement, pursuant to Section 6.9 thereof, to modify the provisions relating to Zone Change Ordinance No. _____.

NOW, THEREFORE, the City and Cedars-Sinai hereby agree to amend the Development Agreement as follows:

- 1. Section 1.9 is hereby deleted and replaced in its entirety as follows:

"Master Plan" means the Master Plan for the Cedars-Sinai Medical Center, approved under City Plan Case Nos. CPC 92-0530(ZC), CPC 92-0533(HD), CPC 92-0534(DA), CPC 1992-534 (DA)(M1), CPC-2008-619-ZC-DA, CPC-2008-619-ZC-DA-M1, and CPC-2021-3512-VZC-VCU which provide for the expansion of the Cedars-Sinai Medical Center as described in Section 3.1.1 of this Agreement.

- 2. Section 1.12 is hereby deleted and replaced in its entirety as follows:

"Project Approvals" means the Zone Change, Height District Change and Development Agreement applications filed as (i) City Plan Case Nos. CPC 92-0530(ZC), CPC 92-0533(HD), CPC 92-0534(DA), CPC 1992-534 (DA)(M1), and CPC-2008-619-ZC-DA, all as previously approved; and (ii) City Plan Case Nos. CPC-2008-619-ZC-DA-M1 and CPC-2021-3512-VZC-VCU, approved concurrently herewith.

- 3. Section 6.2 is hereby deleted and replaced in its entirety as follows:

Term. The term of this Agreement ("Term") shall commence on the Effective Date and shall extend until August 11, 2038, or the completion of the Project, whichever is earlier, unless said Term is otherwise terminated, modified, or extended by circumstances set forth in this Agreement or by mutual consent of the parties hereto. Following the expiration of this Term, this Agreement shall terminate and be of no further force and effect; provided, however, that this termination shall not affect any right or duty arising from entitlements or approvals, including the Project Approvals on the Property approved concurrently with, or subsequent to, the Effective Date of this Agreement. The Term of this Agreement shall

automatically be extended for the period of time of any actual delay resulting from any enactments pursuant to the City's Reserved Powers, and for any period during which the parties are engaged in dispute resolution.

4. Exhibit B, as referenced in the Development Agreement, shall be replaced in its entirety with the attached Exhibit B.
5. Exhibit D, as referenced in the Development Agreement at Sections 3.1.1.c. and 3.1.1.d., shall be replaced in its entirety with the attached Exhibit D.
6. Exhibit E, as referenced in the Development Agreement at Section 1.2., shall be replaced in its entirety with the attached Exhibit E.
7. If any provision of this Amendment should be determined by a court to be invalid or unenforceable, the remaining provisions of this Amendment shall remain in full force and effect and continue to be binding on both parties.

Except as amended herein, the Development Agreement remains in full force and effect.

IN WITNESS WHEREOF, the parties have each executed this Second Amendment as of the date first above written.

Approved as to Form and Legality:

CITY OF LOS ANGELES

_____, 2021

MICHAEL N. FEUER, City Attorney

By: _____
ERIC GARCETTI, Mayor

By: _____
[NAME]
Deputy City Attorney

CEDARS-SINAI MEDICAL CENTER

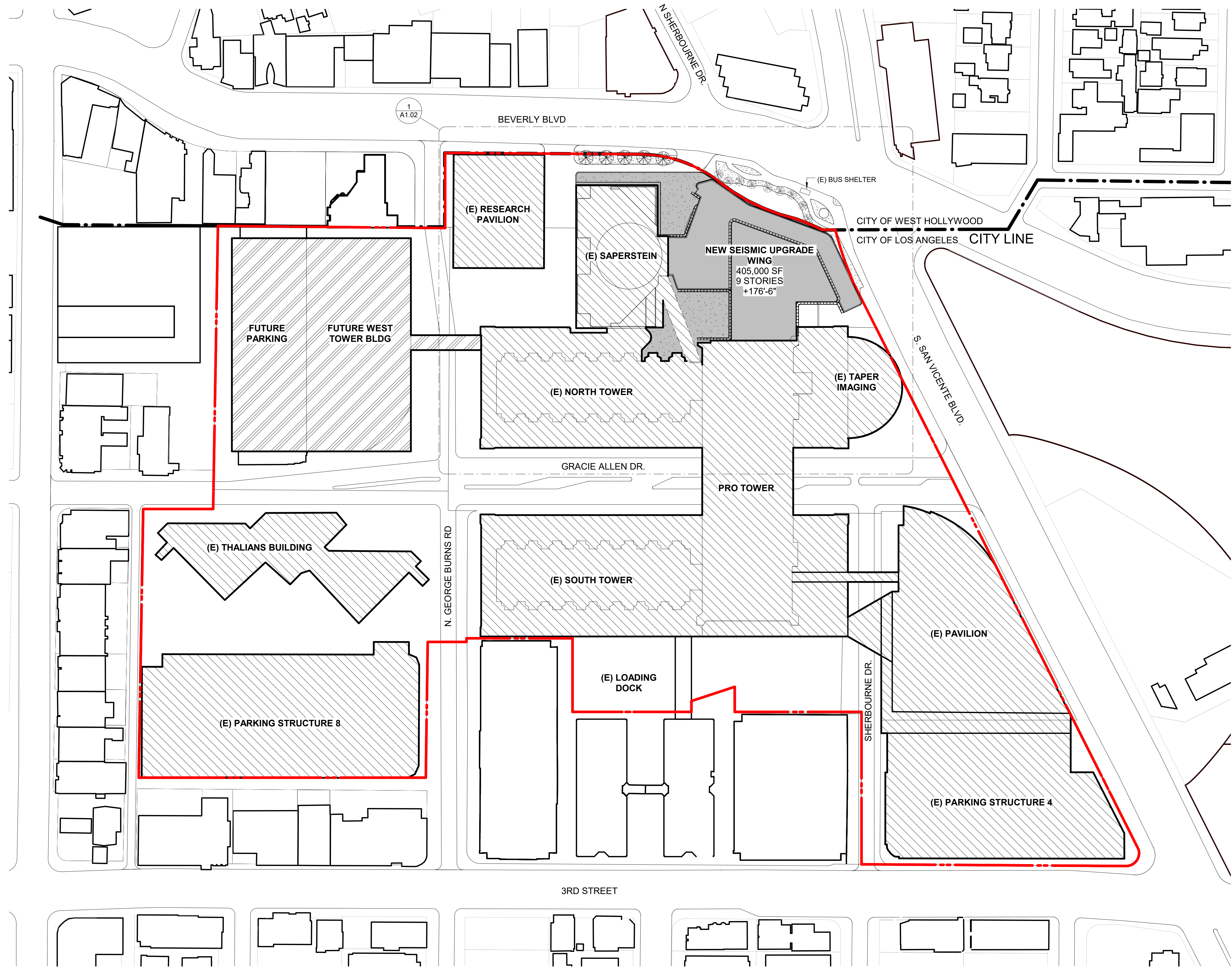
By: _____
Name: Terri W. Cammarano, Esq.
Its: Senior Vice President of Legal Affairs and
General Counsel

Attest: HOLLY L. WOLCOTT, City Clerk

By: _____
Deputy

By: _____
Name: Thomas M. Priselac
Its: President and Chief Executive Officer

Exhibit B



DRAWING LEGEND

- NEW SEISMIC UPGRADE WING
- EXISTING BUILDING TO REMAIN
- BUILDING APPROVED BY ORDINANCE NO. 180,709
- EXTERIOR LANDSCAPING
- PROPERTY LINE (CITY OF LOS ANGELES PROPERTIES)
- CITY LINE

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LOCATION MAP

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/29/21	SHEET NUMBER

SCALE
As indicated

A1.01

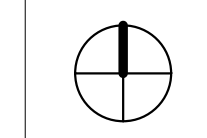


Exhibit D

Development Intensity of Project/Maximum Building Heights

Development Intensity

The Zone Change and associated Development Agreement (approved by Ordinance Nos. 180,709 and 180,911; collectively, the “Master Plan”) allowed construction of a maximum gross floor area on the subject property of 2.62 million square feet with a maximum overall floor area ratio of 2.71:1.

The chart below describes the uses permitted under the Master Plan, the development and equivalent uses that have occurred, and the remaining development rights.

Cedars-Sinai Master Plan Authorized Development								
Permitted Development Rights under Master Plan	Computer Room Development 1993	Pediatric Balcony Enclosure 1994	Emergency Rm. Exp. 1995	Imaging Bldg. Development 1999	Spielberg Elevator Installation 1999	Saperstein Critical Care Tower 2002	Advanced Health Sciences Pavilion 2008	Remaining Development Rights 2021
Medical Suites (209,000 sf)							118,420	90,580
Diagnostic (90,000 sf)				12,000			44,500	33,500
Support (41,000 sf)				14,378			15,600	11,022
Organ Transplant (170,000 sf)						59,849	110,151	0
Rehabilitation (127,500 sf)							94,500	33,000
Imaging (21,000 sf)				21,000				0
Administrative (23,300 sf)		1,000	6,405		628		10,149	5,118
Emergency Room (3,700 sf)			3,590					110
Computer Service (14,500 sf)	14,500							0
Inpatient (200,000)								200,000
Total	14,500	1,000	9,995	47,378	628	59,849	393,320	373,330

The new Zoning Ordinance resulting from the requested Zone Change, as well as the associated Development Agreement Amendment will add 405,000 square feet of inpatient hospital space to the approved development under the Master Plan.

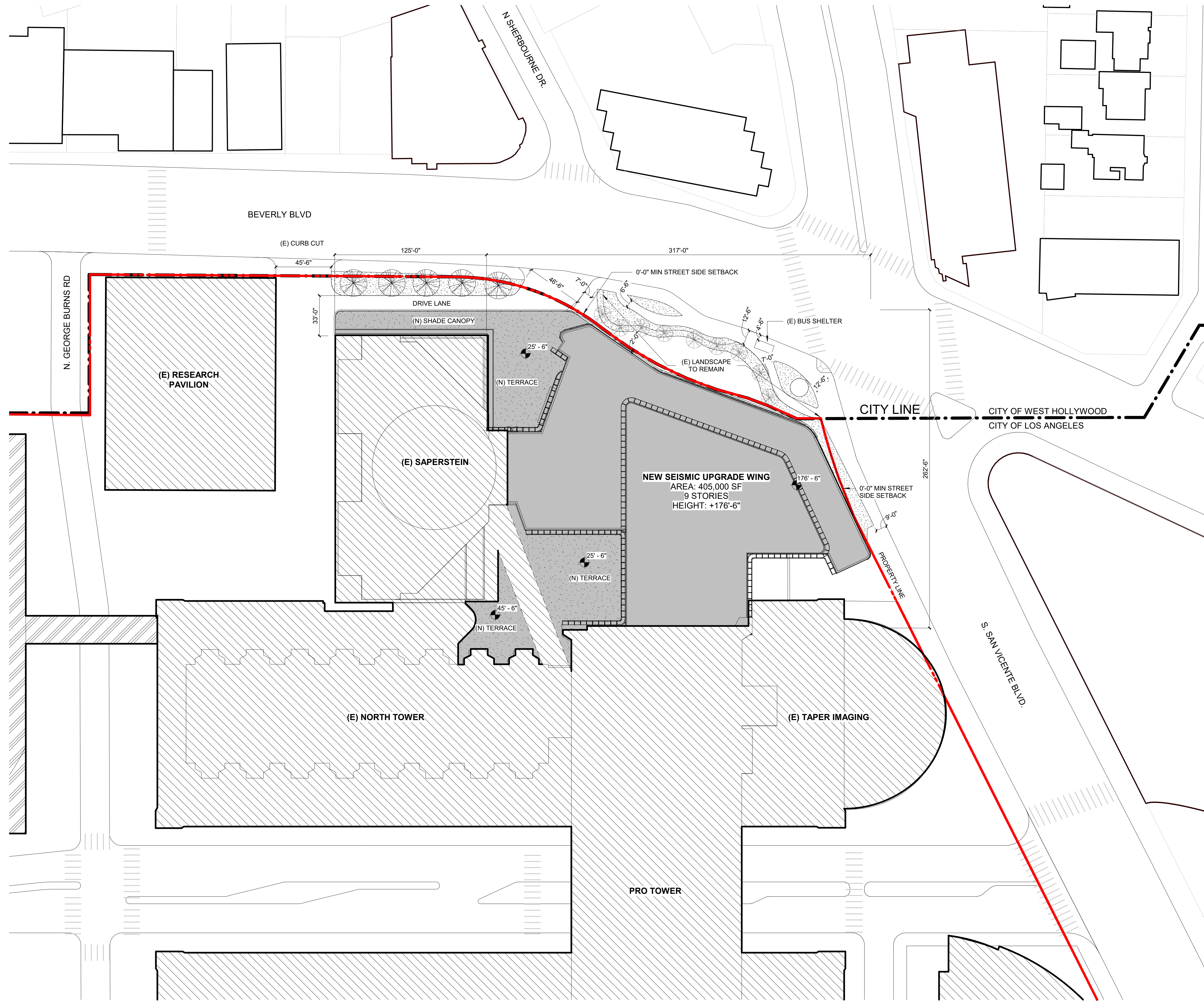
The total gross floor area contained in all buildings on the subject property shall not exceed 3.025 million square feet. In no event shall the overall floor area ratio of the subject property exceed 2.89:1.

Floor area (sf) shall be calculated as defined in Los Angeles Municipal Code Section 12.03.

Building Height

No building or structure on the subject property shall exceed one hundred eighty five (185) feet in height above grade as defined by Los Angeles Municipal Code Sections 12.21.1-B.3a and b.

Exhibit E



DRAWING LEGEND

- NEW SEISMIC UPGRADE WING
- EXISTING BUILDING TO REMAIN
- BUILDING APPROVED BY ORDINANCE NO. 180,709
- EXTERIOR LANDSCAPING
- SPOT ELEVATION

SUMMARY TABLE

SITE AREA	65,673 SF
IMPERVIOUS AREA	49,717 SF (1.14 ACRES)
PERVIOUS AREA	15,956 SF (0.36 ACRES)
BUILDING HEIGHT	176'-6"

BOUNDARIES

- PROPERTY LINE (CITY OF LOS ANGELES PROPERTIES)
- CITY LINE

BUILDING INFORMATION

SITE ADDRESS	8700 BEVERLY BLVD LOS ANGELES, CA 90048
AREA CALCULATIONS	
NEW SEISMIC UPGRADE WING	405,000 SF
NEW NUMBER OF BEDS	203 BEDS
NEW TERRACES	12,000 SF
NEW LANDSCAPING	2,700 SF
FLOOR AREA RATIO FOR MEDICAL CENTER CAMPUS	
NET FLOOR AREA/SITE AREA	3,025,000 SF/ 1,048,001.5 SF= 2.89-1



ARCHITECT
CO ARCHITECTS
 5055 Wilshire Boulevard, 9th Floor
 Los Angeles, California 90036
 323.525.0500 phone, 323.525.0955 fax

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

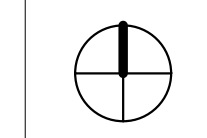
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
SITE PLAN

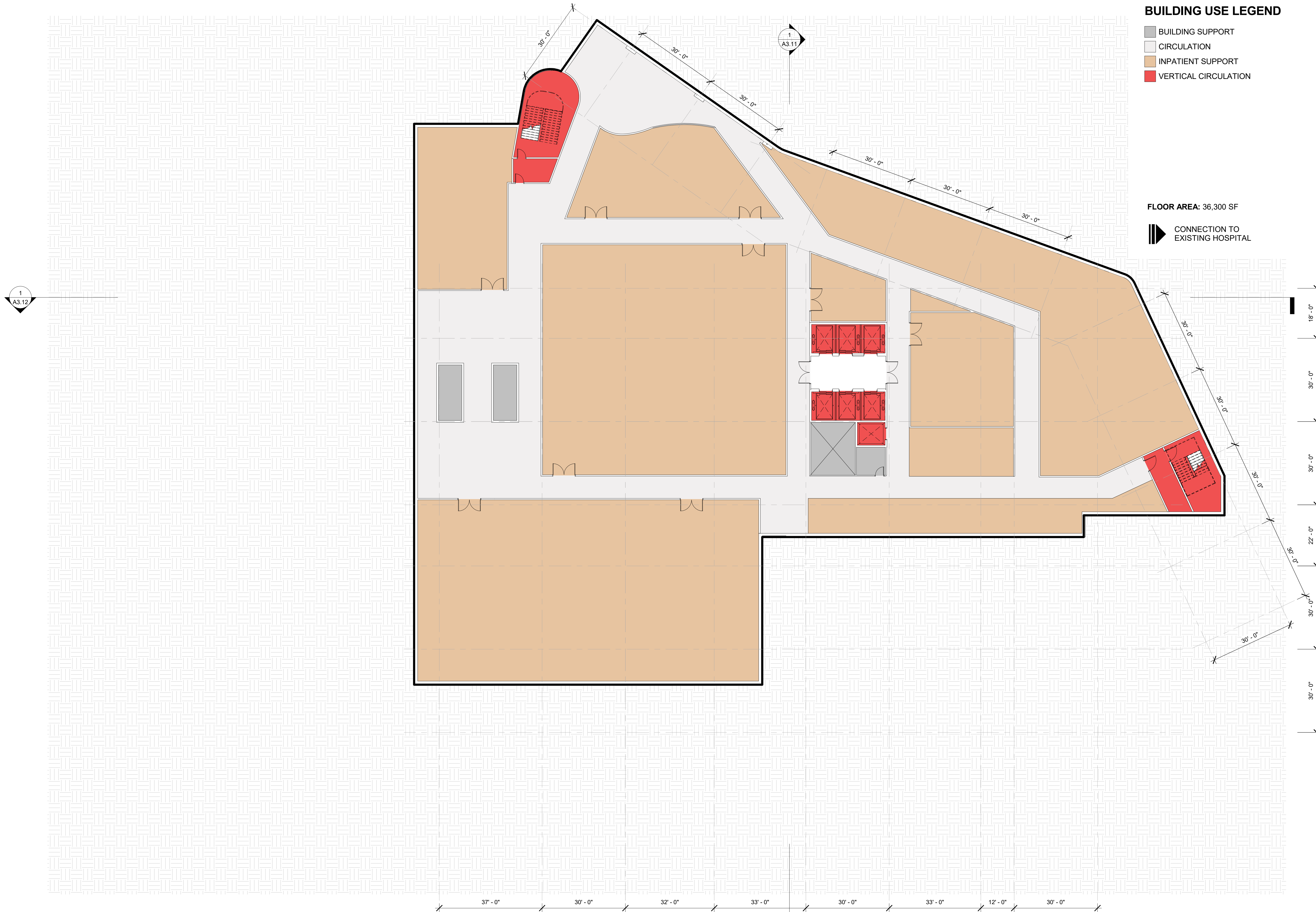
CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/29/21	SHEET NUMBER

SCALE
As indicated

A1.02



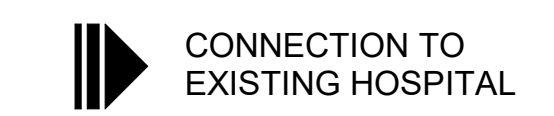
1 SITE PLAN
 1" = 40'-0"
 0' 5' 10' 20' 40' 80'



BUILDING USE LEGEND

- BUILDING SUPPORT
- CIRCULATION
- INPATIENT SUPPORT
- VERTICAL CIRCULATION

FLOOR AREA: 36,300 SF



8700 BEVERLY BOULEVARD
LOS ANGELES, CA 90048



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REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

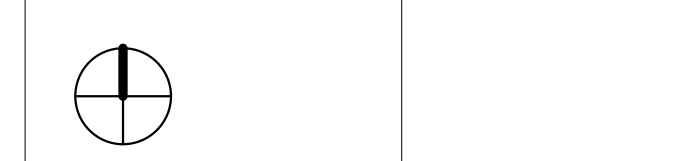
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LOWER LEVEL 2 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

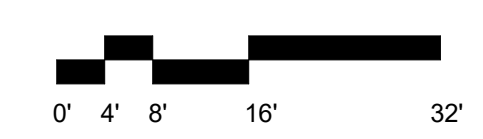
SCALE
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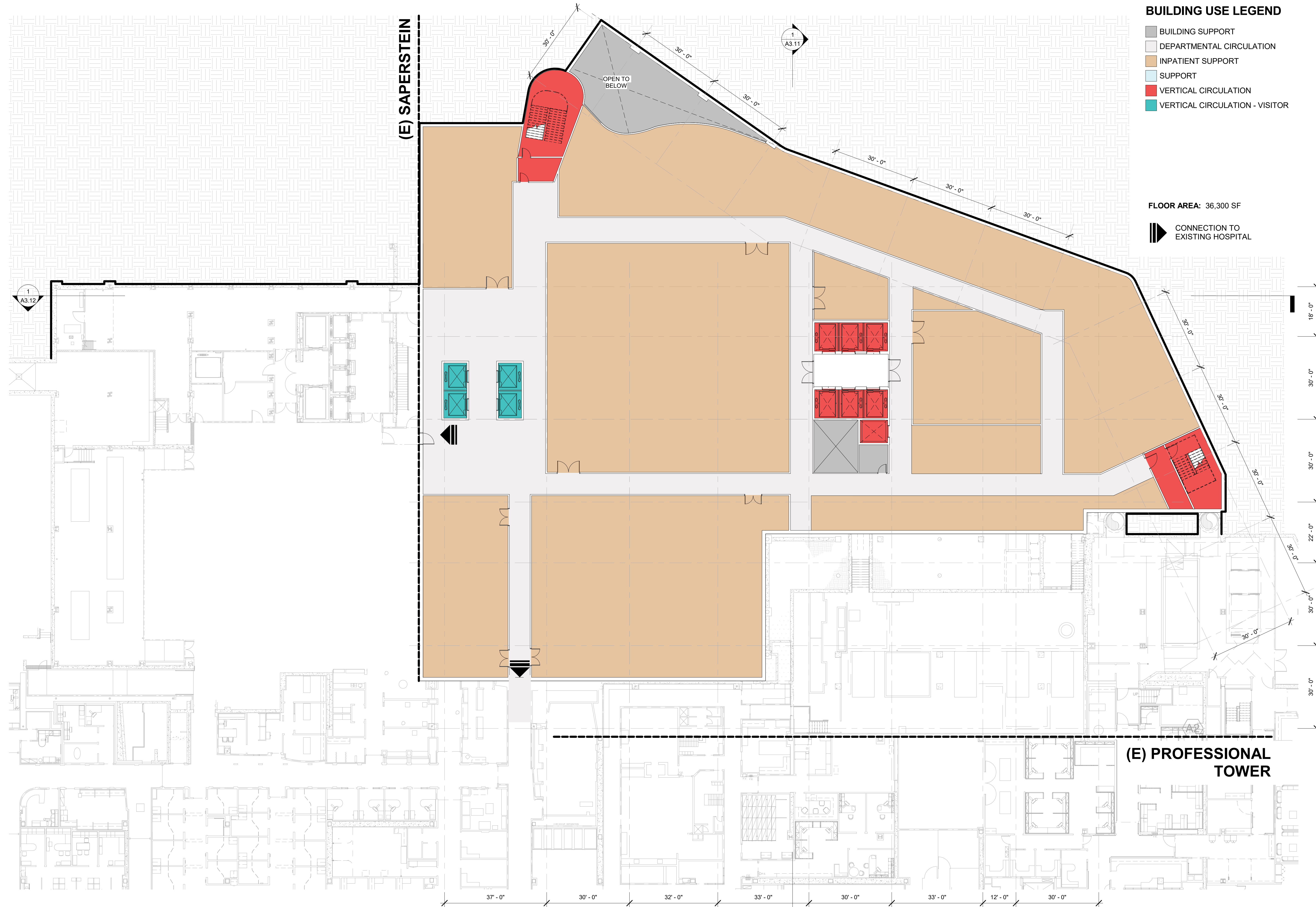
A2.10A

1 LOWER LEVEL 2
1/16" = 1'-0"

E2



4/13/2021 11:17:59 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - INPATIENT SUPPORT
 - SUPPORT
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR

FLOOR AREA: 36,300 SF



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AGENCY APPLICATION NUMBER
AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

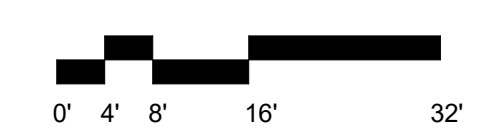
SHEET TITLE
LOWER LEVEL 1 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

SCALE
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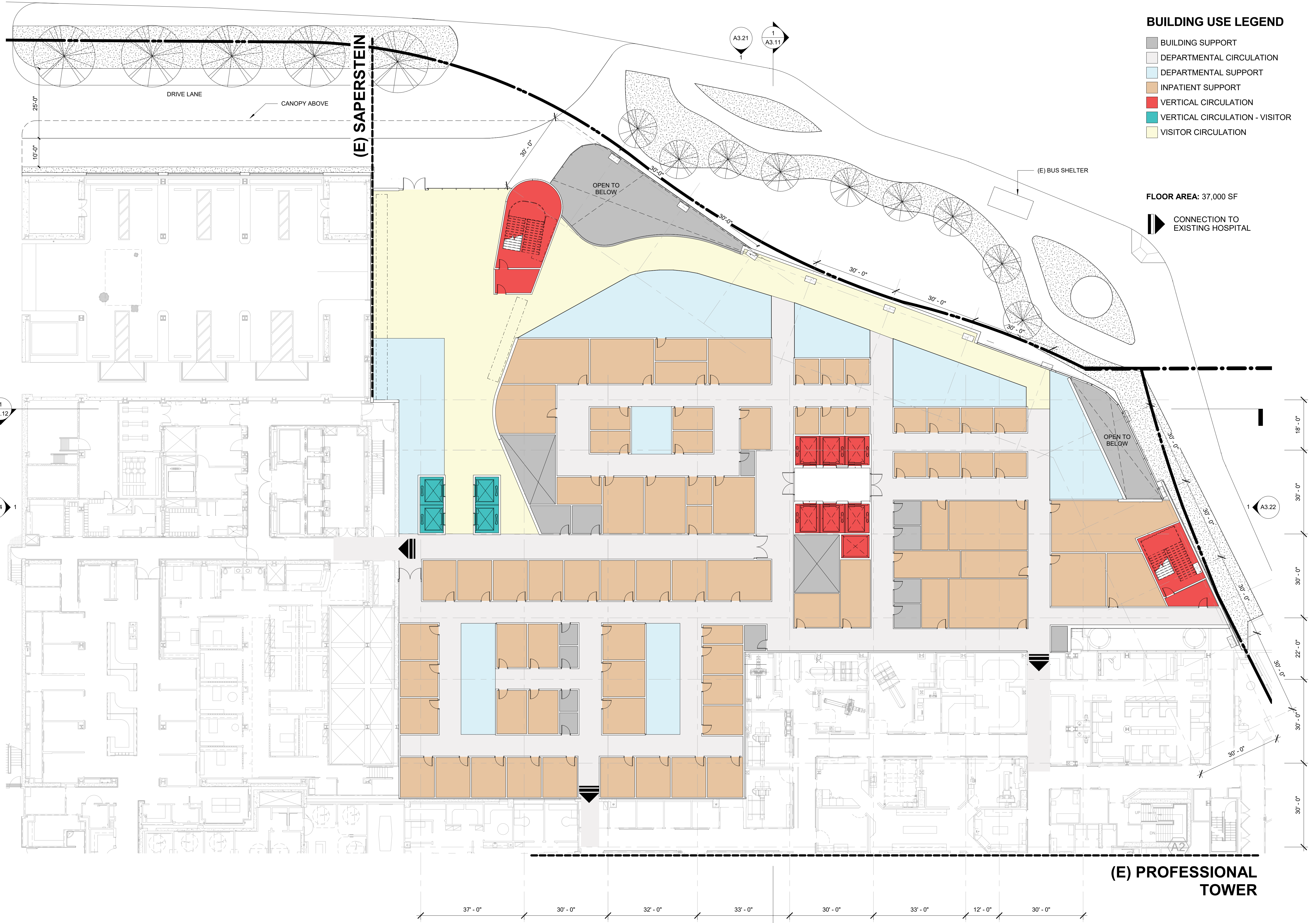


1 LOWER LEVEL 1
 1/16" = 1'-0"



E3

4/13/2021 11:18:00 AM



BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- DEPARTMENTAL SUPPORT
- INPATIENT SUPPORT
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 37,000 SF

▶ CONNECTION TO EXISTING HOSPITAL



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BUILDING TITLE
SEISMIC UPGRADE WING

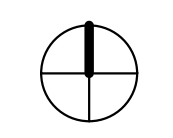
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
STREET LEVEL OVERALL FLOOR PLAN

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/29/21	SHEET NUMBER

SCALE
1/16" = 1'-0"

A2.11



1 STREET LEVEL
1/16" = 1'-0"

E4



7/29/2021 3:12:36 PM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 49,200 SF
BED COUNT: 34
 CONNECTION TO EXISTING HOSPITAL



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 AGENCY APPLICATION NUMBER
 AGENCY APPROVAL STAMP

BUILDING TITLE
 SEISMIC UPGRADE WING
PROJECT TITLE
 CEDARS-SINAI MEDICAL CENTER

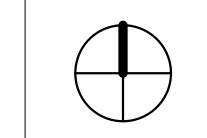
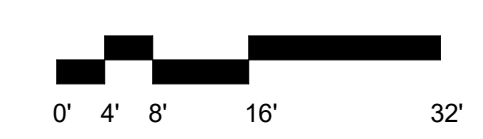
SHEET TITLE
 PLAZA OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402
 CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21
 SCALE 1/16" = 1'-0"
 SHEET NUMBER **A2.12**

1 PLAZA
 1/16" = 1'-0"

E5



4/13/2021 11:18:10 AM



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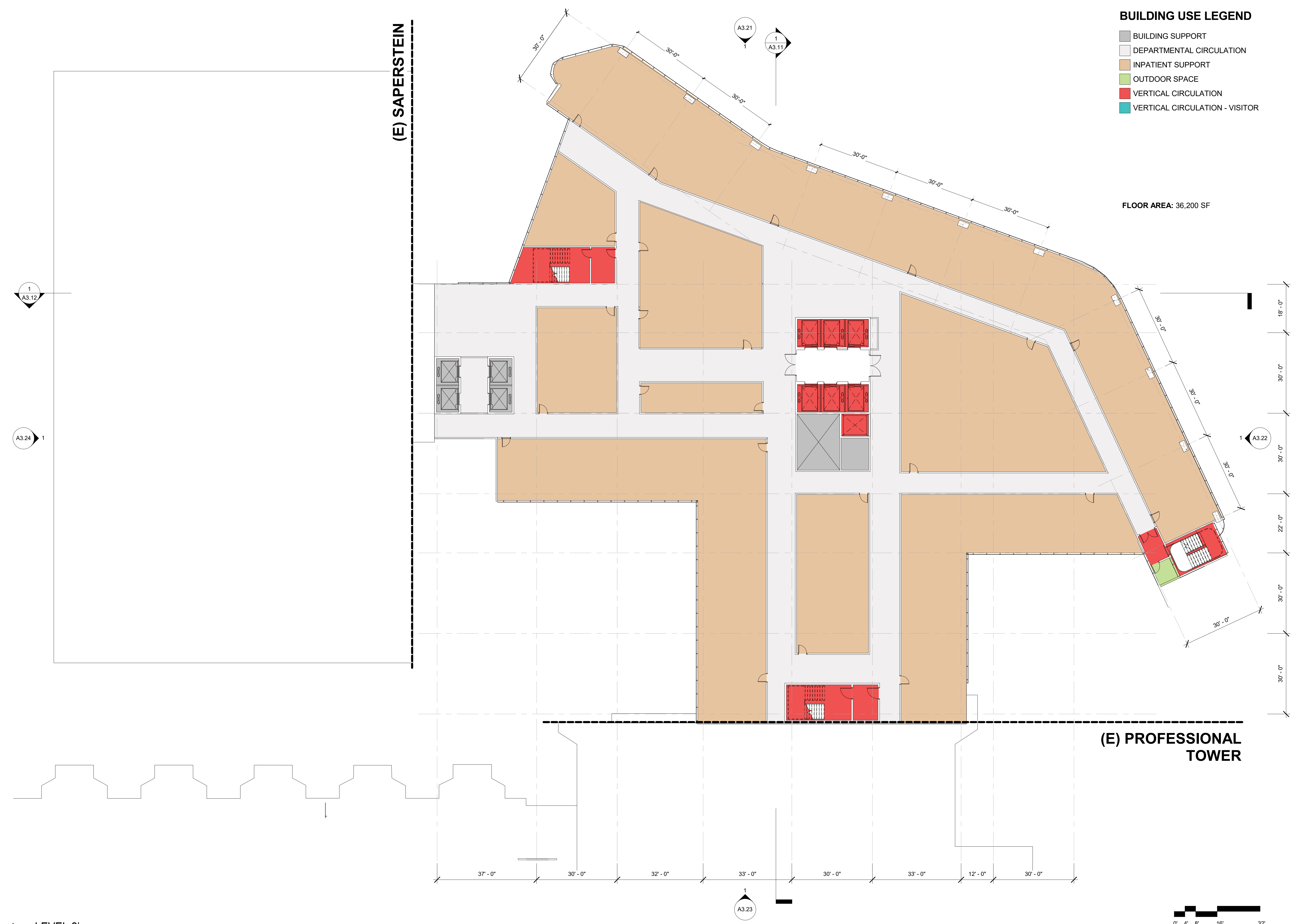
BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- INPATIENT SUPPORT
- OUTDOOR SPACE
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR

FLOOR AREA: 36,200 SF

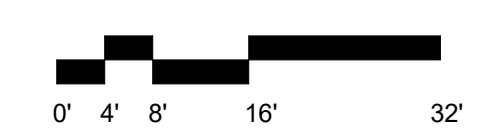
(E) SAPERSTEIN

(E) PROFESSIONAL TOWER



1 LEVEL 2i
1/16" = 1'-0"

E6



REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 2i OVERALL FLOOR PLAN

CISM PROJECT NO.
16-402

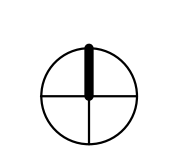
CONSULTANT PROJ. NO.
21501.00

DATE
04/13/21

SHEET NUMBER

SCALE
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A2.12i



4/13/2021 11:18:11 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 25
 CONNECTION TO EXISTING HOSPITAL



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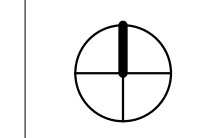
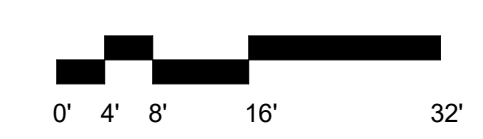
BUILDING TITLE
SEISMIC UPGRADE WING
 PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 3 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402
 CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21
 SCALE 1/16" = 1'-0"
A2.13

1 LEVEL 3
 1/16" = 1'-0"



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BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- DEPARTMENTAL SUPPORT
- OUTDOOR SPACE
- PATIENT BED
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36
 CONNECTION TO EXISTING HOSPITAL



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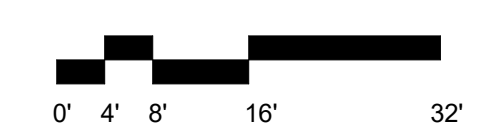
BUILDING TITLE
SEISMIC UPGRADE WING
 PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

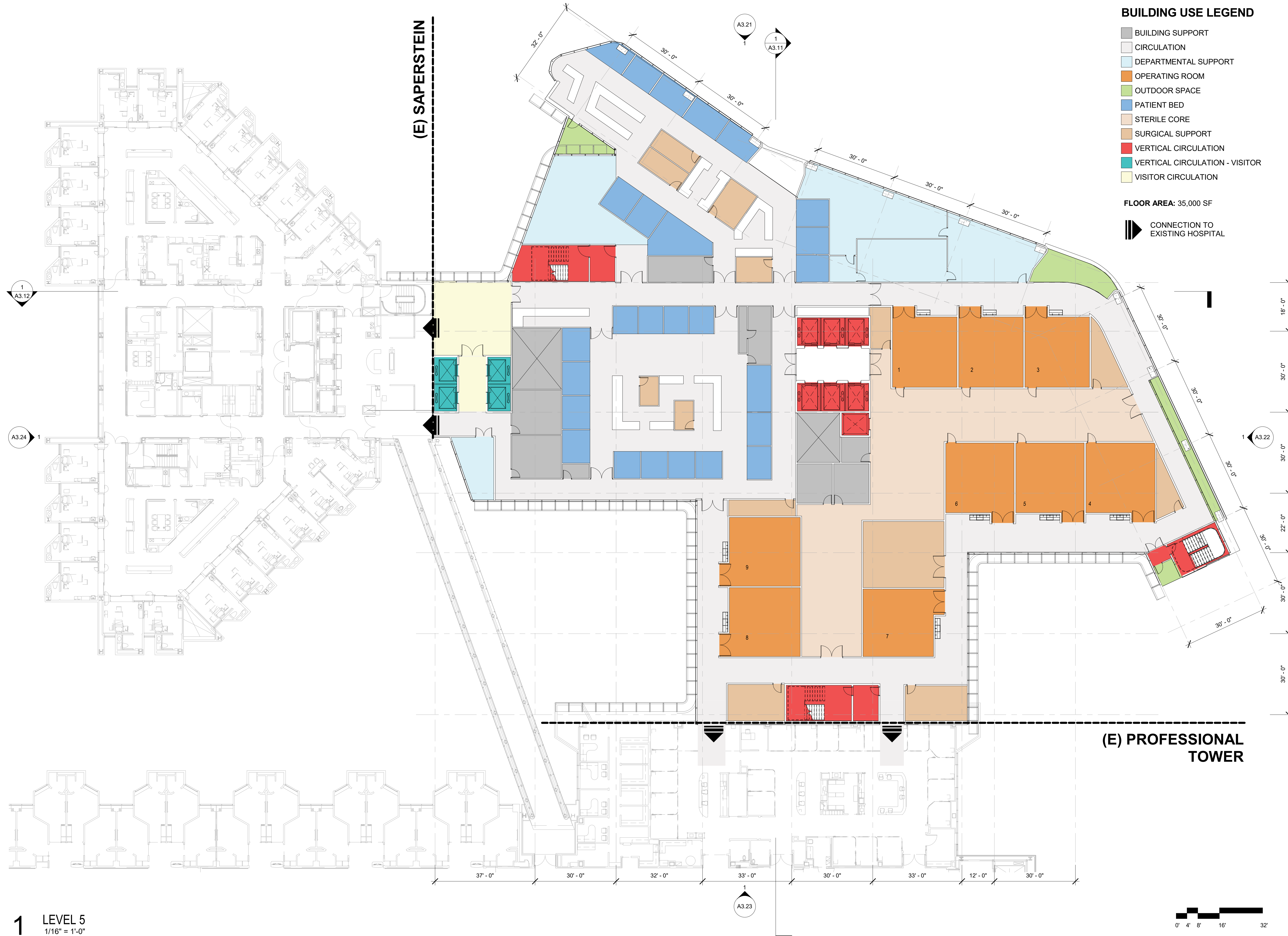
SHEET TITLE
LEVEL 4 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402
 CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21
 SCALE 1/16" = 1'-0"
A2.14

1 LEVEL 4
 1/16" = 1'-0"





BUILDING USE LEGEND

- BUILDING SUPPORT
- CIRCULATION
- DEPARTMENTAL SUPPORT
- OPERATING ROOM
- OUTDOOR SPACE
- PATIENT BED
- STERILE CORE
- SURGICAL SUPPORT
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 35,000 SF

▶ CONNECTION TO EXISTING HOSPITAL



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LOS ANGELES, CA 90048

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REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

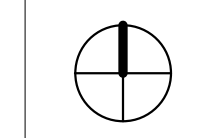
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 5 OVERALL FLOOR PLAN

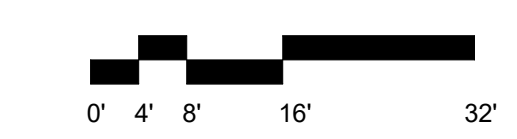
CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

SCALE
1/16" = 1'-0"

A2.15



1 LEVEL 5
1/16" = 1'-0"



E9

4/13/2021 11:18:23 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36

▶ CONNECTION TO EXISTING HOSPITAL



ARCHITECT
CO ARCHITECTS
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 Los Angeles, California 90036
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REVISION-DATE

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AGENCY APPROVAL STAMP

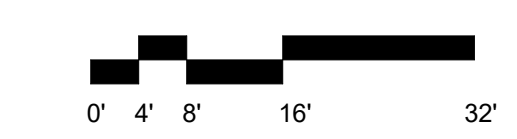
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 6 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER A2.16
SCALE 1/16" = 1'-0"	

1 LEVEL 6
1/16" = 1'-0"



E10

4/13/2021 11:18:29 AM



BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- DEPARTMENTAL SUPPORT
- OUTDOOR SPACE
- PATIENT BED
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36



8700 BEVERLY BOULEVARD
 LOS ANGELES, CA 90048



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 323.525.0500 phone, 323.525.0955 fax

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

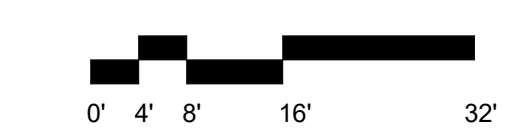
SHEET TITLE
LEVEL 7 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

SCALE
 1/16" = 1'-0"

A2.17

1 LEVEL 7
 1/16" = 1'-0"



E11

4/13/2021 11:18:35 AM



BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- DEPARTMENTAL SUPPORT
- OUTDOOR SPACE
- PATIENT BED
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36

▶ CONNECTION TO EXISTING HOSPITAL



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AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

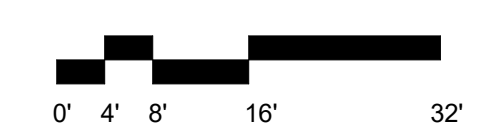
SHEET TITLE
LEVEL 8 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

SCALE
 1/16" = 1'-0"

A2.18

1 LEVEL 8
 1/16" = 1'-0"



E12

4/13/2021 11:18:40 AM



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BUILDING TITLE
**SEISMIC UPGRADE
WING**

PROJECT TITLE
**CEDARS-SINAI MEDICAL
CENTER**

SHEET TITLE
**ROOF OVERALL FLOOR
PLAN**

CSMC PROJECT NO.

16-402

CONSULTANT PROJ. NO.

21501.00

DATE

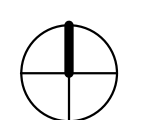
04/13/21

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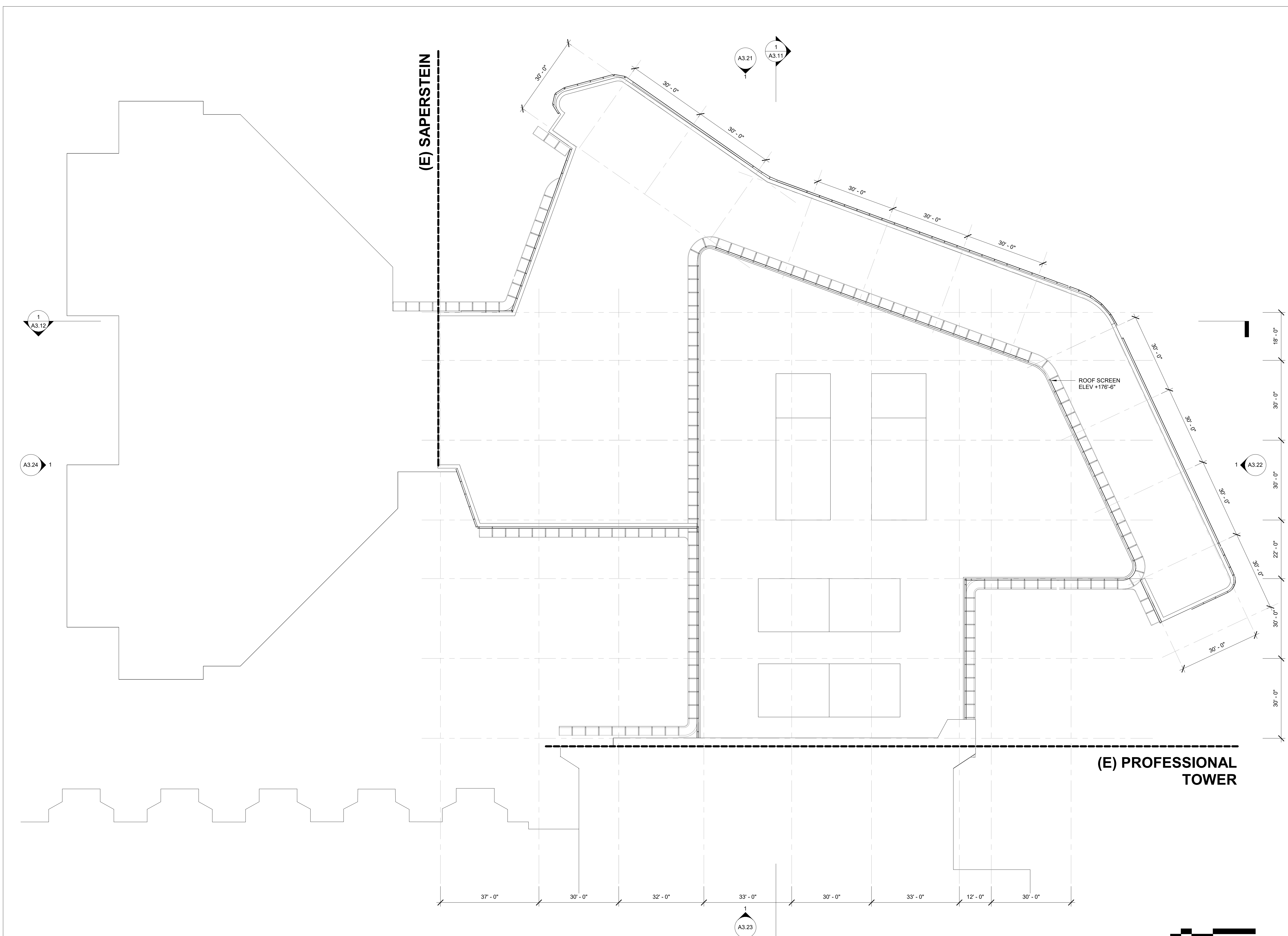
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SHEET NUMBER

A2.19

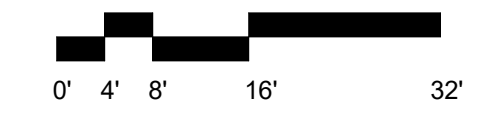


4/13/2021 11:18:43 AM



1 ROOF PLAN
1/16" = 1'-0"

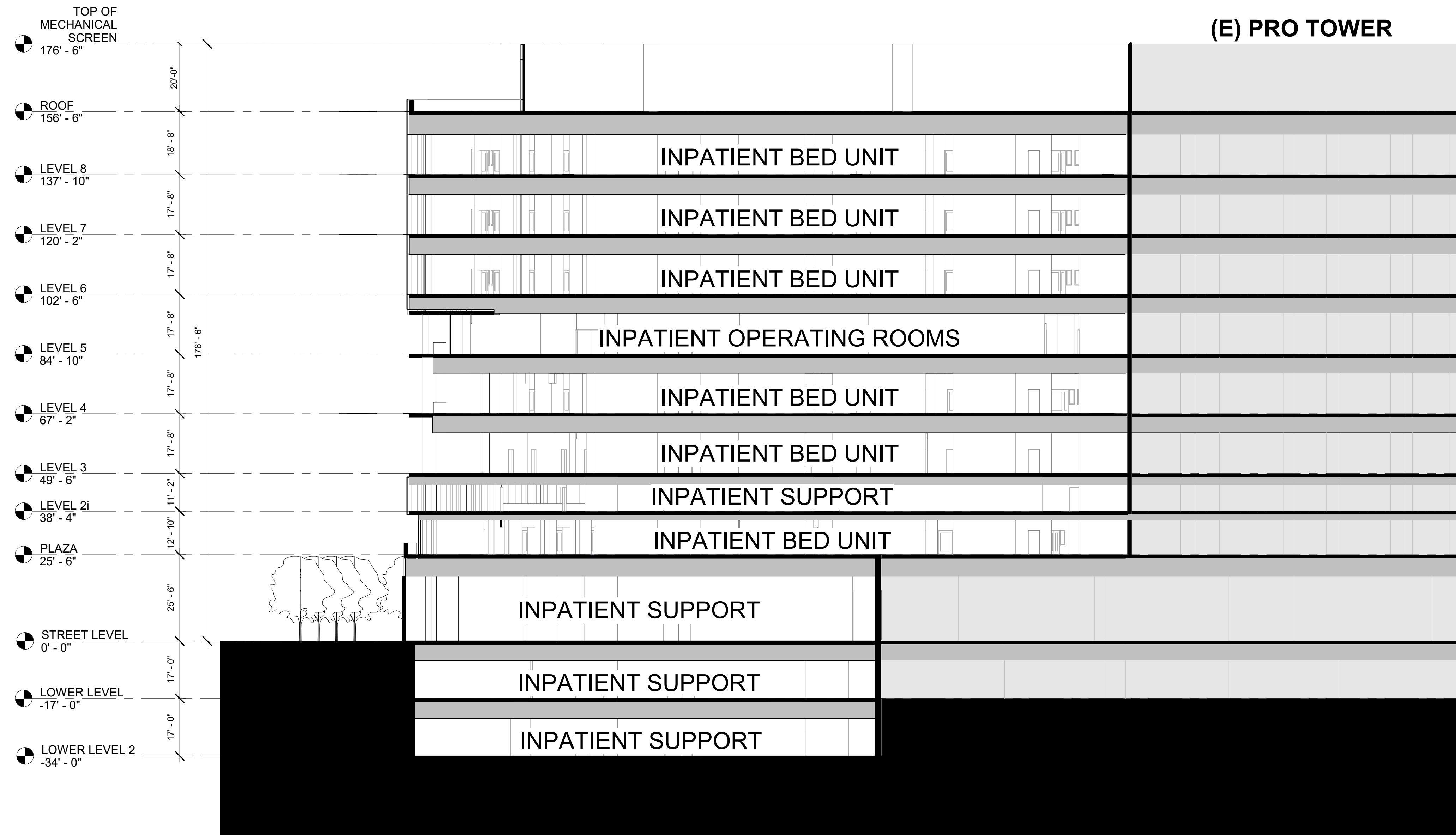
E13



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1 NORTH-SOUTH SECTION
1" = 20'-0"

REVISION-DATE

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AGENCY APPROVAL STAMP

BUILDING TITLE
**SEISMIC UPGRADE
WING**

PROJECT TITLE
**CEDARS-SINAI MEDICAL
CENTER**

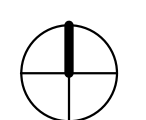
SHEET TITLE
**BUILDING SECTION
(OVERALL)**

CSMC PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
04/13/21
SCALE
1" = 20'-0"

SHEET NUMBER
A3.11



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AGENCY APPROVAL STAMP

BUILDING TITLE

SEISMIC UPGRADE WING

PROJECT TITLE

CEDARS-SINAI MEDICAL CENTER

SHEET TITLE

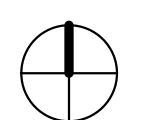
BUILDING SECTION (OVERALL)

CSMC PROJECT NO.
16-402

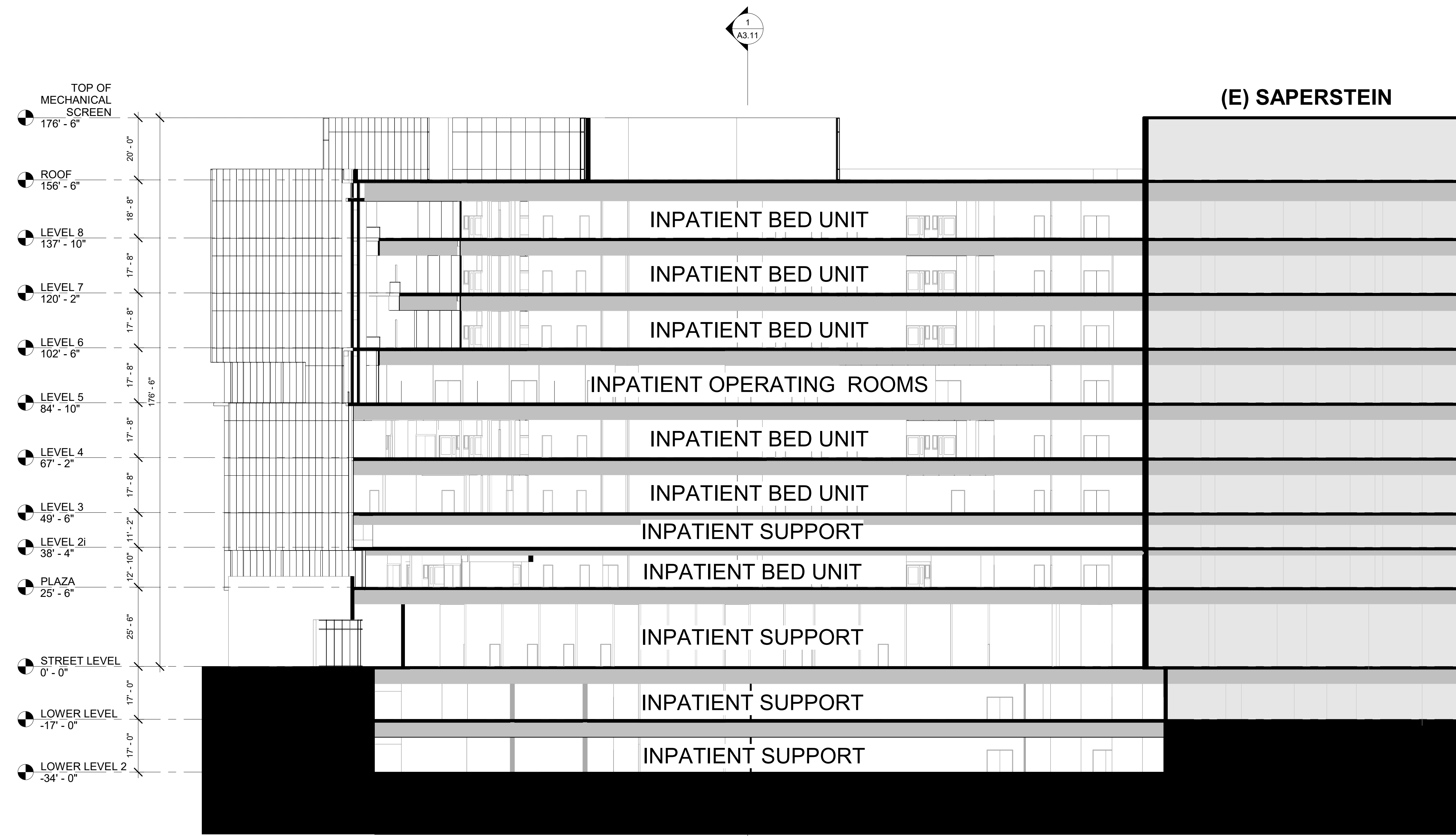
CONSULTANT PROJ. NO.
21501.00

DATE
04/13/21
SCALE
1" = 20'-0"

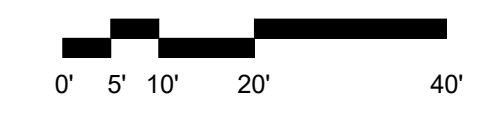
SHEET NUMBER
A3.12



4/13/2021 11:18:48 AM



1 EAST-WEST SECTION
1" = 20'-0"



RSST-01	STONE
RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF



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AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
NORTH ELEVATION

CSMC PROJECT NO.
16-402

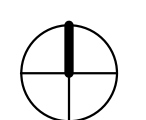
CONSULTANT PROJ. NO.
21501.00

DATE
07/16/21

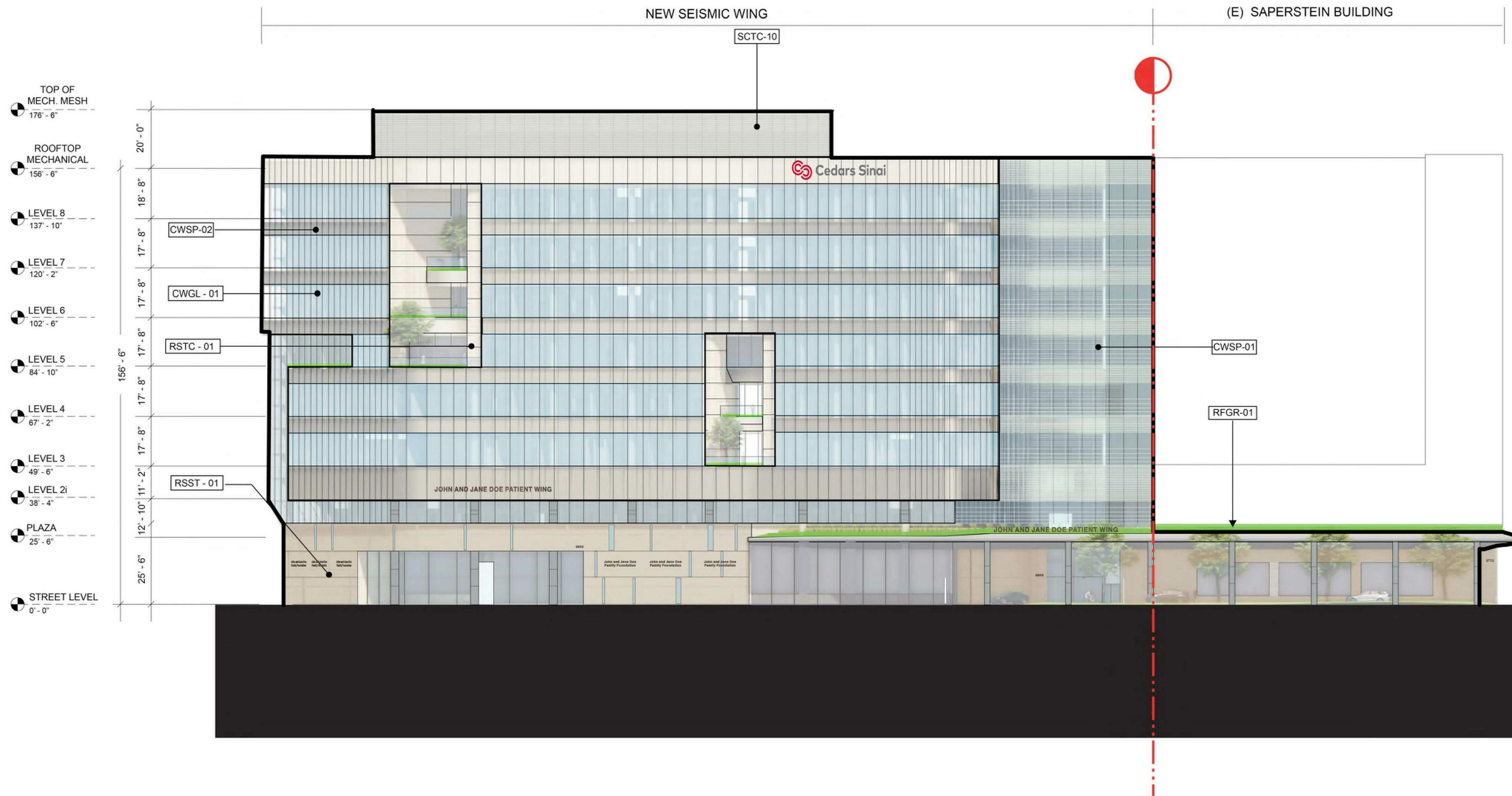
SHEET NUMBER

SCALE

A3.21



7/9/2021 6:20:25 PM



1 NORTH ELEVATION
1/20" = 1'



RSST-01	STONE
RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF



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BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
EAST ELEVATION

CSMC PROJECT NO.
16-402

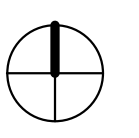
CONSULTANT PROJ. NO.
21501.00

DATE
07/16/21

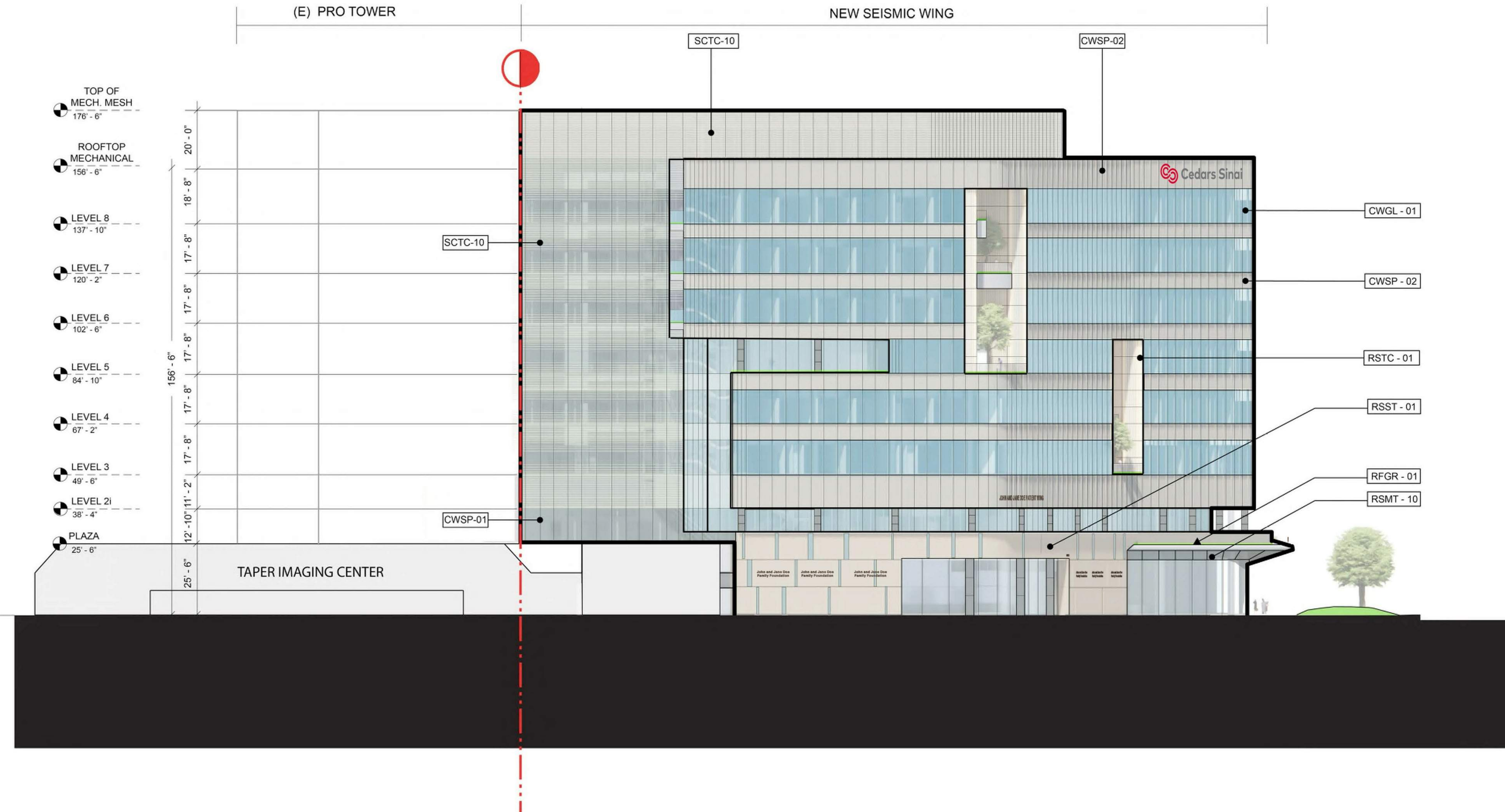
SHEET NUMBER

SCALE

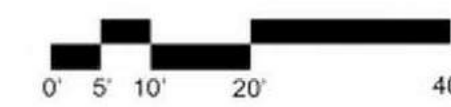
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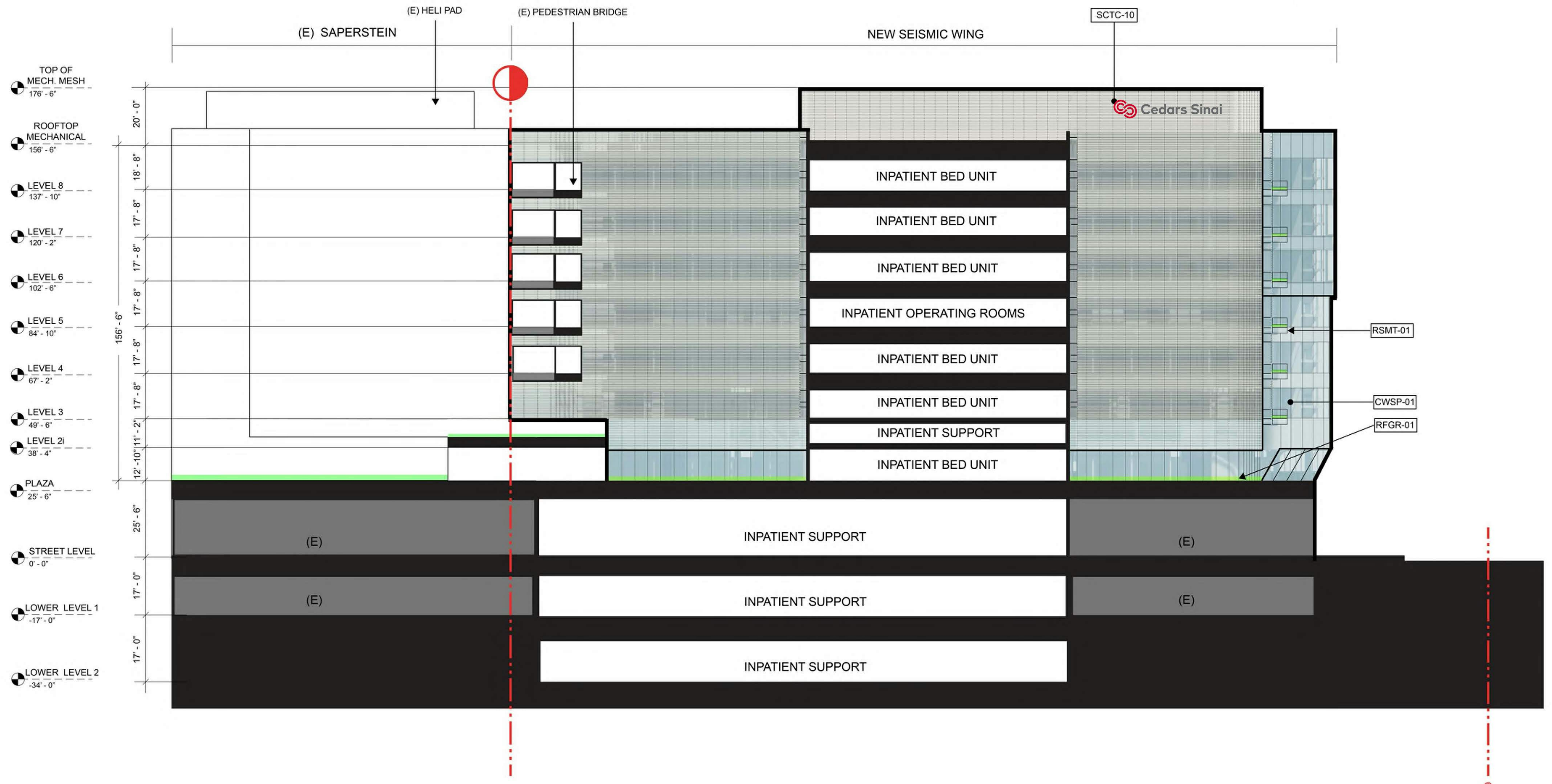
1 EAST ELEVATION
1/20" = 1'



RSST-01	STONE
RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF

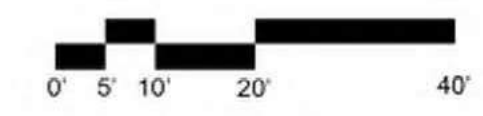


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- TOP OF MECH. MESH
176' - 6"
- ROOFTOP MECHANICAL
156' - 6"
- LEVEL 8
137' - 10"
- LEVEL 7
120' - 2"
- LEVEL 6
102' - 6"
- LEVEL 5
84' - 10"
- LEVEL 4
67' - 2"
- LEVEL 3
49' - 6"
- LEVEL 2i
38' - 4"
- PLAZA
25' - 6"
- STREET LEVEL
0' - 0"
- LOWER LEVEL 1
-17' - 0"
- LOWER LEVEL 2
-34' - 0"

1 SOUTH ELEVATION
1/20" = 1'



SAN VICENTE BLVD.

REVISION DATE
AGENCY APPLICATION NUMBER
AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
SOUTH ELEVATION

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/16/21	SHEET NUMBER A3.23
SCALE	

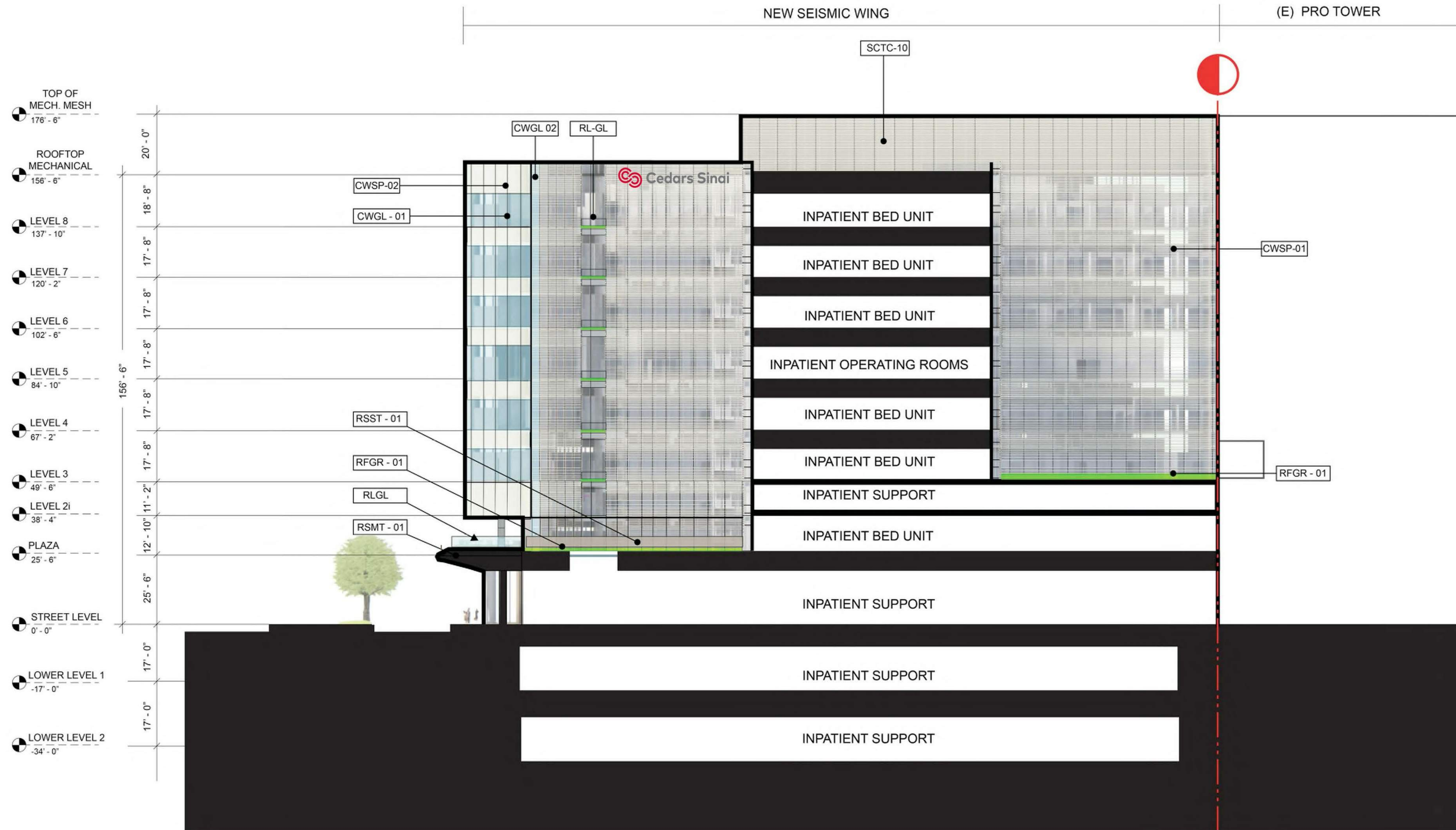
RSST-01	STONE
RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF



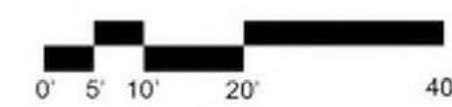
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1 WEST ELEVATION
1/20" = 1'



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AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

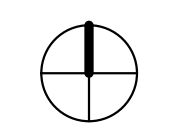
SHEET TITLE
WEST ELEVATION

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
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DATE 07/16/21	SHEET NUMBER
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SCALE

A3.24



7/19/2021 6:20:26 PM



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BUILDING TITLE

**SEISMIC UPGRADE
WING**

PROJECT TITLE

**CEDARS-SINAI MEDICAL
CENTER**

SHEET TITLE

BUILDING RENDERINGS

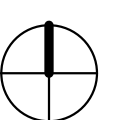
CISM PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
07/16/21
SCALE

SHEET NUMBER

A3.31





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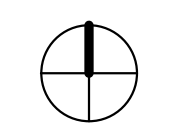
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
BUILDING RENDERINGS

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/16/21	SHEET NUMBER
SCALE	A3.32

SCALE



7/9/2021 4:06:17 PM



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BUILDING TITLE

**SEISMIC UPGRADE
WING**

PROJECT TITLE

**CEDARS-SINAI MEDICAL
CENTER**

SHEET TITLE

BUILDING RENDERINGS

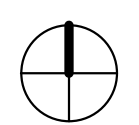
CISM PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
07/16/21
SCALE

SHEET NUMBER

A3.33



Street Level



Tabebuia Impetiginosa
"Pink Trumpet Tree"



Agave Attenuata
"Foxtail Agave"



Agave Vilmoriniana
"Octopus Agave"



Aeonium Canariense
"Giant Velvet Rose"



Bouteloua Gracilis Blonde Ambition
"Blonde Ambition Blue Grama"



Santolina Chamaecyparissus
"Lavender Cotton"



Senecio Serpens
"Blue Chalk Sticks"



Aeonium Arboreum 'Zwartkop'
"Black Rose Aeonium"



Acacia Cousin Itt
"Little River Wattle"

Level 3



Dianella Tasmanica
"Tasman Flax Lily"



Fescue Glauca
"Blue Fescue"



Chamomile Nobile
"Chamomile"



Festuca Rubra 'Molate'
"Molate Red Fescue"



Penstemon Margarita
"Blue Bedder"



Carex Divulsa
"Berkeley Sedge"



Sedum Acre 'Aureum'
"Golden Stonecrop"



Sedum Cauticola 'Bertram Anderson'
"Bertram Anderson Stonecrop"

Plaza & Level 3



Bambusa Multiplex 'Alphonse Karr'
"Alphonse Karr"



Acer Palmatum
"Japanese Maple"



Asplenium Nidus
"Birds Nest Fern"



Billbergia Nutans
"Queens Tears"



Brunnera Macrophylla 'Jack Frost'
"Siberian Bugloss"



Arbutus Marina
"Strawberry Tree"



Phoenix Roebelenii
"Pygmy Date Palm"



Dianella Tasmanica 'Variegata'
"Variegated Flax Lily"



Hosta 'Rainforest Surprise'
"Rainforest Surprise Plantain Lily"



Maranta Leuconeura
"Red Prayer Plant"



Podocarpus Gracilior
"African Fern Pine"



Rhapsis Excelsa
"Lady Palm"



Liriope Spicata
"Creeping Lilyturf"



Philodendron 'Xanadu'
"Dwarf Philodendron"



Sedum Morganianum
"Burro's Tail"

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

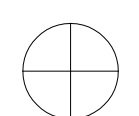
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CEDARS-SINAI MEDICAL CENTER

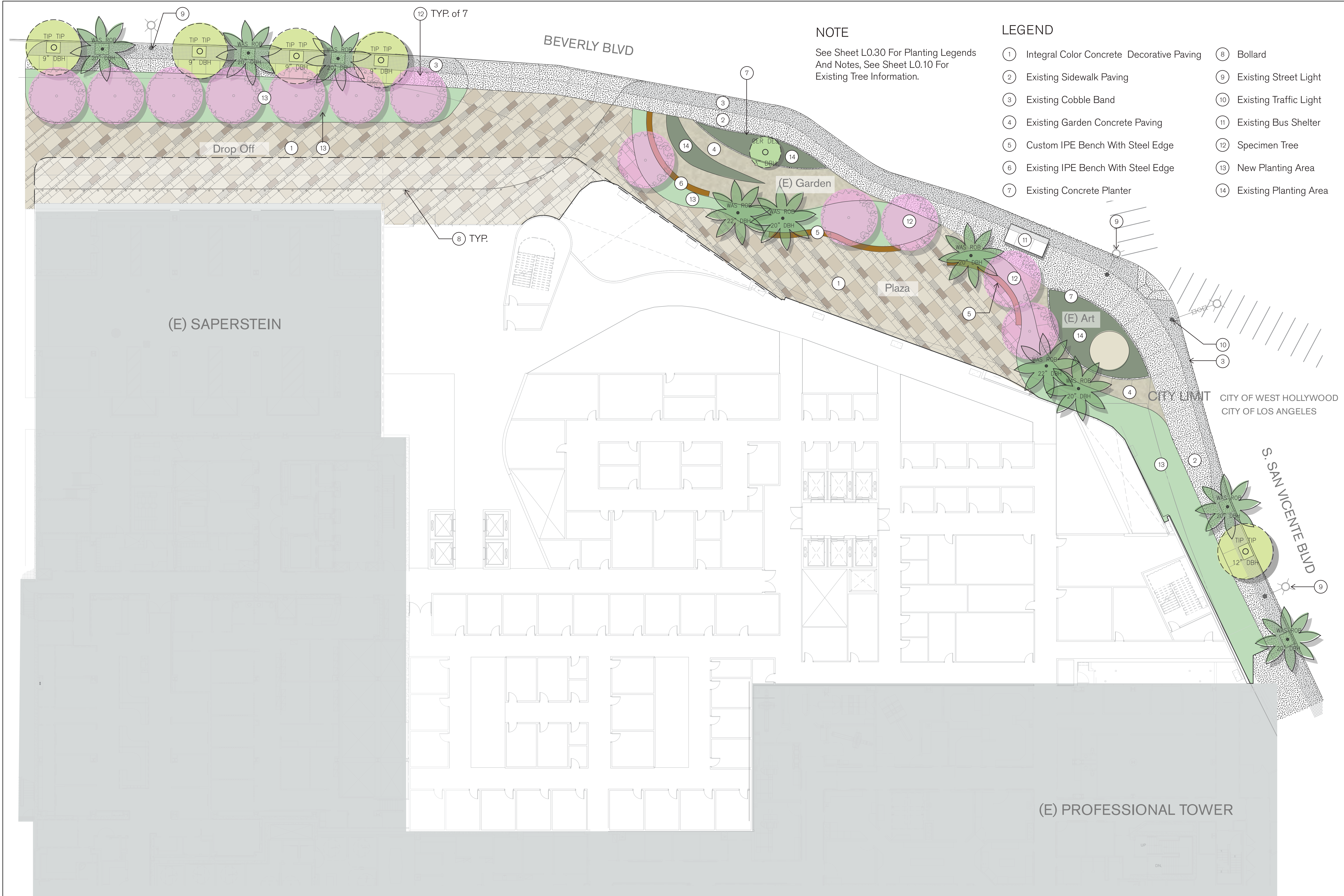
SHEET TITLE
PLANTING PALETTE

CSMC PROJECT NO. 16-402 | CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21 | SHEET NUMBER

SCALE 1/16" = 1'-0" | **L0.31**





NOTE
See Sheet L0.30 For Planting Legends
And Notes, See Sheet L0.10 For
Existing Tree Information.

- LEGEND**
- ① Integral Color Concrete Decorative Paving
 - ⑧ Bollard
 - ② Existing Sidewalk Paving
 - ⑨ Existing Street Light
 - ③ Existing Cobble Band
 - ⑩ Existing Traffic Light
 - ④ Existing Garden Concrete Paving
 - ⑪ Existing Bus Shelter
 - ⑤ Custom IPE Bench With Steel Edge
 - ⑫ Specimen Tree
 - ⑥ Existing IPE Bench With Steel Edge
 - ⑬ New Planting Area
 - ⑦ Existing Concrete Planter
 - ⑭ Existing Planting Area



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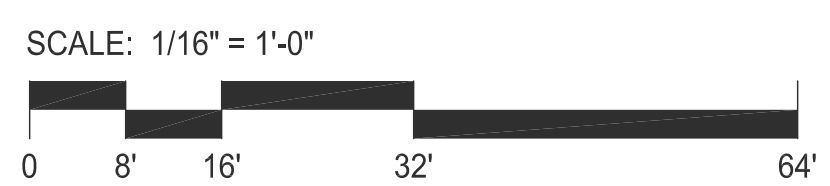
BUILDING TITLE
SEISMIC UPGRADE WING
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
STREET LEVEL LANDSCAPE PLAN

CSMC PROJECT NO. 16-402
CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21
SCALE 1/16" = 1'-0"
SHEET NUMBER **L1.01**

1 STREET LEVEL
1/16" = 1'-0"





NOTE
See Sheet L0.30 For Planting Legends And Notes.

- LEGEND**
- ① Integral Color Concrete Paving
 - ② Decorative Lithocrete Paving
 - ③ Steel Planter
 - ④ Water Feature
 - ⑤ Custom IPE Bench
 - ⑥ Decorative Privacy Screen
 - ⑦ Shade Structure
 - ⑧ Sculpture
 - ⑨ Cafe Tables & Chairs
 - ⑩ Lounge Furniture
 - ⑪ Screening Hedge
 - ⑫ Specimen Tree
 - ⑬ Sky Light
 - ⑭ Existing Steel Planter

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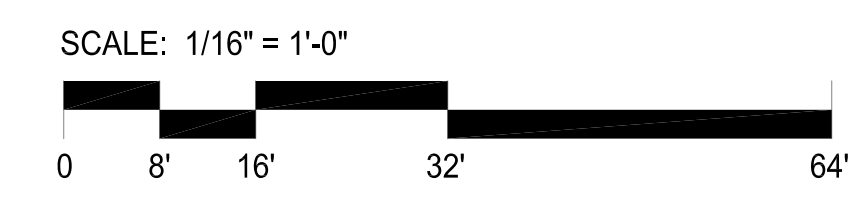
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
PLAZA LEVEL LANDSCAPE PLAN

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER L1.02
SCALE 1/16" = 1'-0"	

1 PLAZA LEVEL
1/16" = 1'-0"

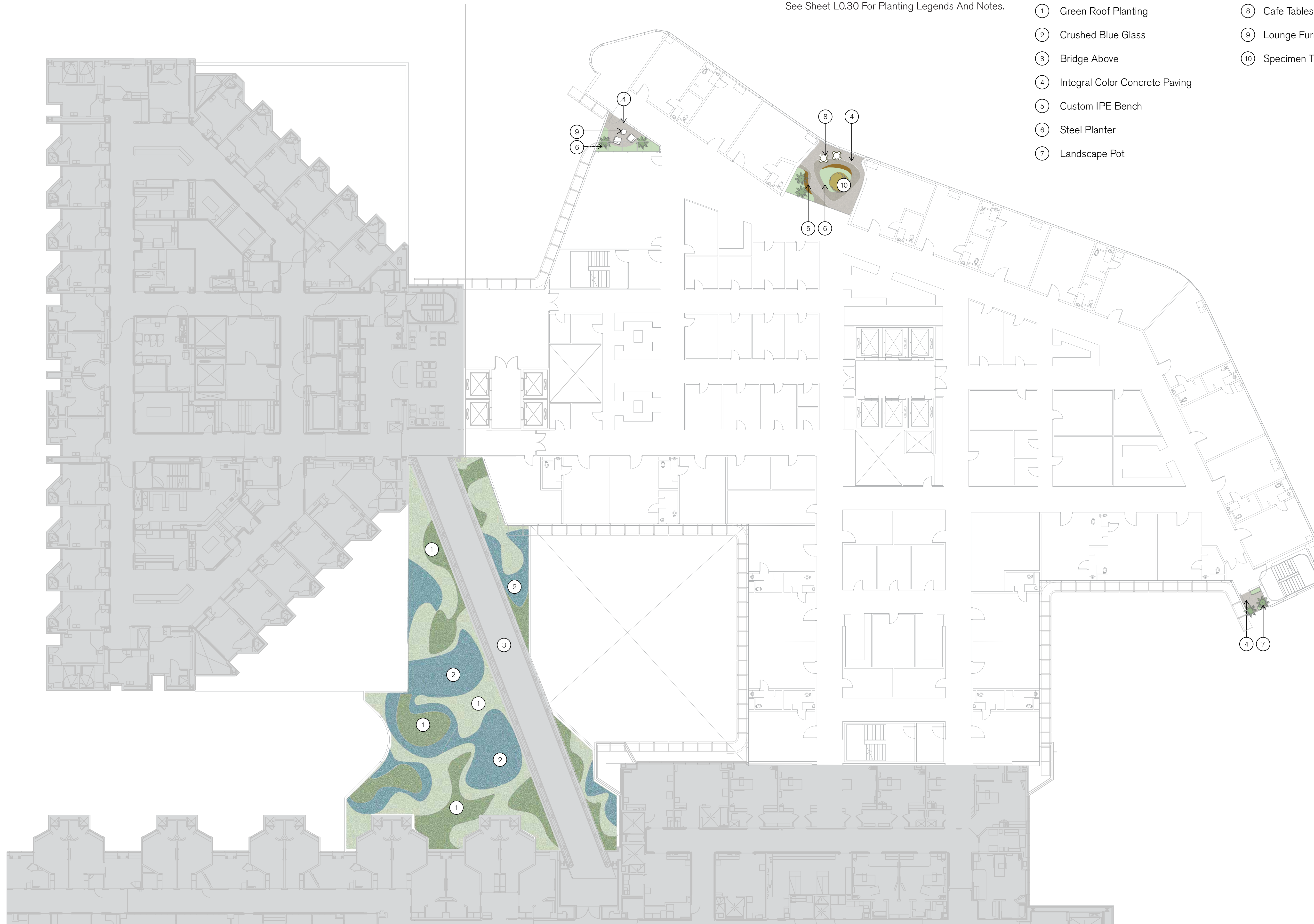


NOTE

See Sheet L0.30 For Planting Legends And Notes.

LEGEND

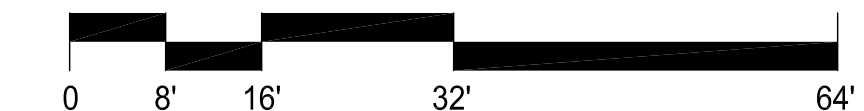
- ① Green Roof Planting
- ② Crushed Blue Glass
- ③ Bridge Above
- ④ Integral Color Concrete Paving
- ⑤ Custom IPE Bench
- ⑥ Steel Planter
- ⑦ Landscape Pot
- ⑧ Cafe Tables & Chairs
- ⑨ Lounge Furniture
- ⑩ Specimen Tree



1 LEVEL 3
1/16" = 1'-0"

E26

SCALE: 1/16" = 1'-0"

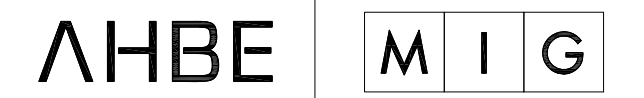


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AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
**SEISMIC UPGRADE
WING**

PROJECT TITLE
**CEDARS-SINAI MEDICAL
CENTER**

SHEET TITLE
**LEVEL 3
LANDSCAPE PLAN**

CSDC PROJECT NO.
16-402

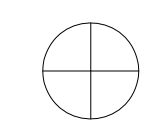
CONSULTANT PROJ. NO.
21501.00

DATE
04/13/21

SHEET NUMBER

SCALE
1/16" = 1'-0"

L1.03



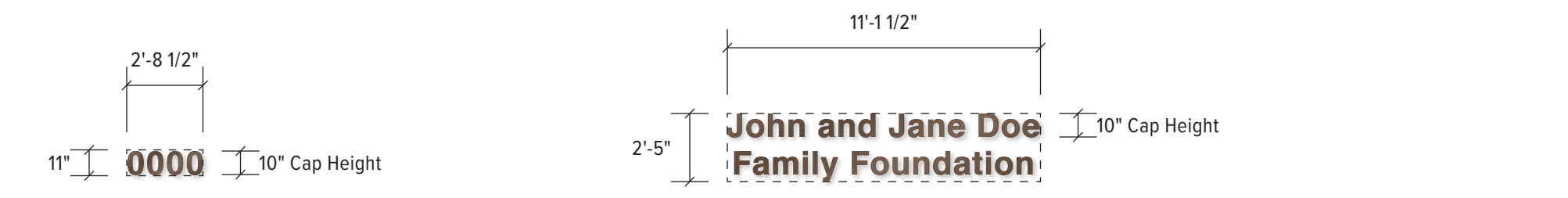
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NOTE: THE COMPLETE SIGN PROGRAM TO BE SUBMITTED & PERMITTED DURING PLAN CHECK PHASE

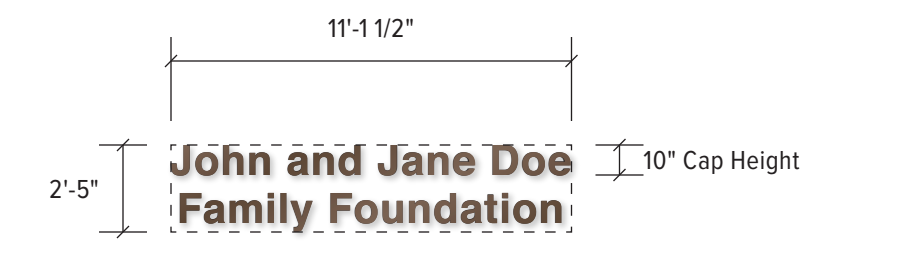


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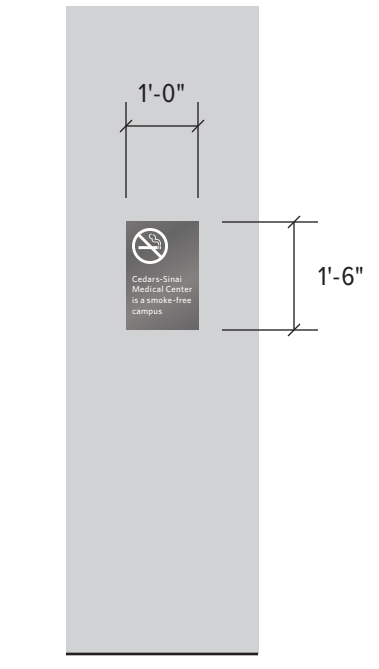
SIGN TYPE MENU



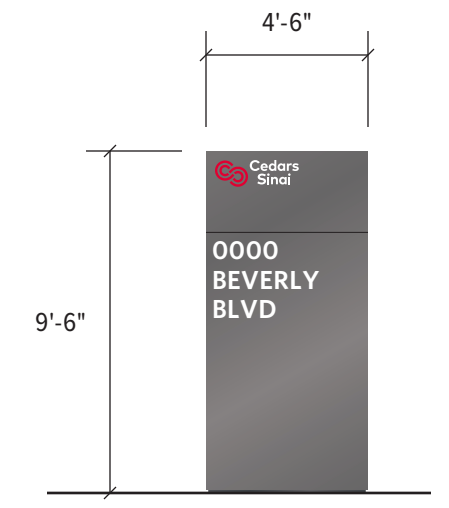
Sign Area: 2.5 Sq. Ft.
Wall Sign (Building Address)
3/16" = 1'-0"
Non-Illuminated



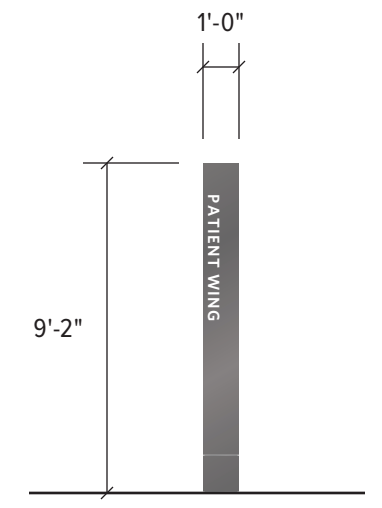
Sign Area: 27 Sq. Ft.
Wall Sign (Donor Recognition)
3/16" = 1'-0"
Non-Illuminated



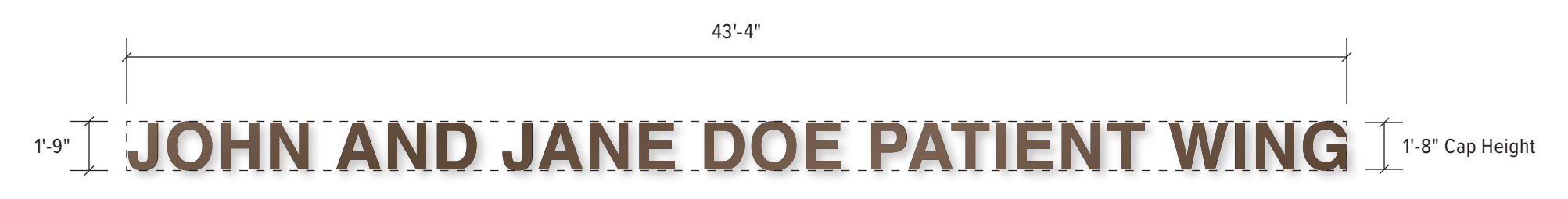
Sign Area: 1.5 Sq. Ft.
Information Sign (Sign Type HH1)
3/8" = 1'-0"
Non-Illuminated



Sign Area: 42.75 Sq. Ft.
Pole Sign (Sign Type BB1)
3/16" = 1'-0"
Internally Illuminated - Double-faced

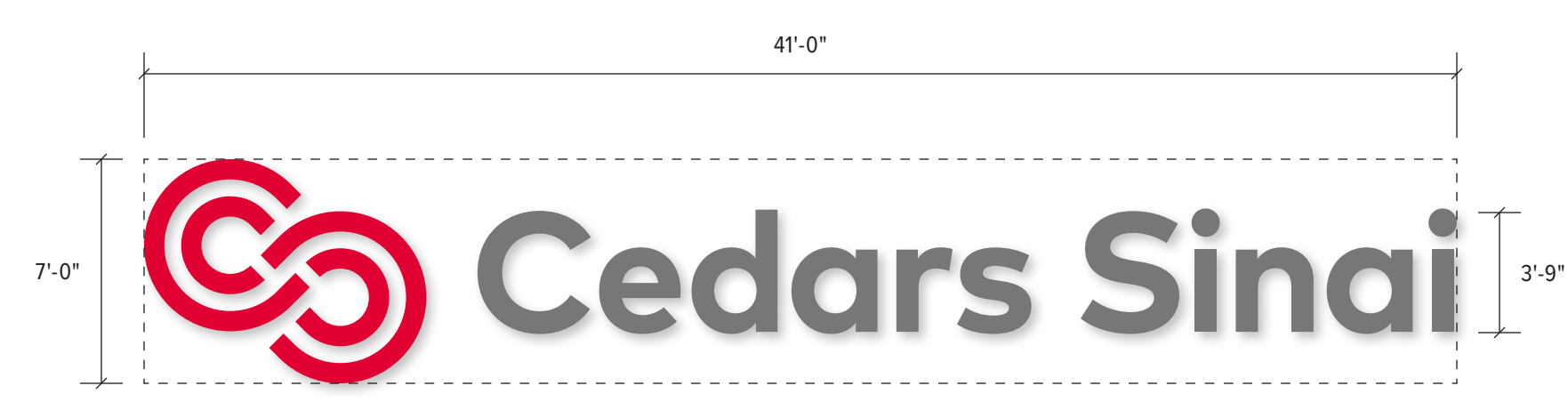


Sign Area: 9.2 Sq. Ft.
Pole Sign (Sign Type C4)
3/16" = 1'-0"
Internally Illuminated - Double-faced



Sign Area: 76 Sq. Ft.
Illuminated Architectural Canopy Sign & Wall Sign (Donor Recognition)
3/16" = 1'-0"
Internally Illuminated

Wall Sign (Donor Recognition)
3/16" = 1'-0"
Non-Illuminated



Sign Area: 287 Sq. Ft.
High Rise Sign
3/16" = 1'-0"
Internally Illuminated



Sign Area: 209 Sq. Ft.
High Rise Sign - Alternative Layout
3/16" = 1'-0"
Internally Illuminated

SIGN PROGRAM CHART

PROPOSED SIGN PROGRAM						CITY OF LOS ANGELES MUNICIPAL CODE				
SIGN LOCATION	SIGN DESCRIPTION	WIDTH	HEIGHT	COPY AREA	QTY.	LAMC SIGN CATEGORY	LAMC CODE SECTIONS	STREET FRONTAGE	MAX. SIGN AREA PERMITTED	ACTUAL SIGN AREA
1	North Building Elevation Information Sign (Sign Type HH1) Non-Illuminated	1'-0"	1'-6"	1.5 Sq. Ft.	2	Information Signs	SEC. 14.4.7. INFORMATION SIGNS. A. Area. Information signs shall not exceed 25 square feet in area.	Beverly Blvd. 317'-0"	1268 Sq. Ft.	582.45 Sq. Ft.
2	High Rise Sign Internally Illuminated	41'-0"	7'-0"	287 Sq. Ft.	1	Wall Signs	SEC. 14.4.10. WALL SIGNS. A. Area. 1. The total sign area of wall signs facing a street shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage for a single-story building. 2. For buildings more than one story in height, the combined wall sign area shall not exceed that permitted for a single story by more than ten percent for each additional story. In no event, shall the combined wall sign area exceed by 50 percent that area permitted for a single-story building. 3. For wall signs that are made up of individual letters that use the wall of the building as background, the allowable sign area may be increased by 20 percent, provided there is no change in color between the background and the surrounding wall area. 4. The combined sign area of illuminated architectural canopy signs, roof signs and wall signs facing the same direction shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage. 5. The combined sign area of wall signs, projecting signs, monument signs, illuminated architectural canopy signs, pole signs, roof signs and window signs shall not exceed four square feet for each foot of street frontage. E. High Rise Signs. Any wall signs located over 100 feet above grade shall be used as identification signs only. Identification signs shall comprise no more than 80 percent of the width of that portion of the building where the signs are attached. Notwithstanding the provisions of Subsection A. above, the area of these signs may constitute up to five percent of the area of the wall where the signs are attached and may be in addition to the area permitted in Subsection A. above.			
3	Wall Sign (Building Address) Non-Illuminated	2'-8 1/2"	11"	N/A	3					
4	Wall Sign (Donor Recognition) Non-Illuminated	11'-1 1/2"	2'-5"	27 Sq. Ft.	3					
5	Wall Sign (Donor Recognition) Non-Illuminated	43'-4"	1'-9"	76 Sq. Ft.	1					
6	Architectural Canopy Sign (Donor Recognition) Internally Illuminated	43'-4"	1'-9"	76 Sq. Ft.	1	Illuminated Architectural Canopy Signs	SEC. 14.4.11. ILLUMINATED ARCHITECTURAL CANOPY SIGNS. A. Area. 1. The area of illuminated architectural canopy signs shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage.			
7	Pole Sign (Sign Type BB1) Internally Illuminated - Double-faced	4'-6"	9'-6"	42.75 Sq. Ft.	1	Pole Signs	SEC. 14.4.12. POLE SIGNS. B. Area. 1. Sign area visible to the same direction of traffic shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage. 2. The maximum area of any one pole sign shall not exceed 400 square feet.			
8	Pole Sign (Sign Type C4) Internally Illuminated - Double-faced	1'-0"	9'-2"	9.2 Sq. Ft.	1					
9	West Building Elevation High Rise Sign Internally Illuminated	41'-0"	7'-0"	287 Sq. Ft.	1	Wall Signs	SEC. 14.4.10. WALL SIGNS. E. High Rise Signs. Any wall signs located over 100 feet above grade shall be used as identification signs only. Identification signs shall comprise no more than 80 percent of the width of that portion of the building where the signs are attached. Notwithstanding the provisions of Subsection A. above, the area of these signs may constitute up to five percent of the area of the wall where the signs are attached and may be in addition to the area permitted in Subsection A. above.	N/A	684 Sq. Ft.	287 Sq. Ft.
10	South Building Elevation High Rise Sign Internally Illuminated	41'-0"	7'-0"	287 Sq. Ft.	1			N/A	893 Sq. Ft.	287 Sq. Ft.
11	East Building Elevation Wall Sign (Donor Recognition) Non-Illuminated	11'-1 1/2"	2'-5"	27 Sq. Ft.	3	Wall Signs	SEC. 14.4.10. WALL SIGNS. A. Area. 1. The total sign area of wall signs facing a street shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage for a single-story building. 2. For buildings more than one story in height, the combined wall sign area shall not exceed that permitted for a single story by more than ten percent for each additional story. In no event, shall the combined wall sign area exceed by 50 percent that area permitted for a single-story building. 3. For wall signs that are made up of individual letters that use the wall of the building as background, the allowable sign area may be increased by 20 percent, provided there is no change in color between the background and the surrounding wall area. 4. The combined sign area of illuminated architectural canopy signs, roof signs and wall signs facing the same direction shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage. 5. The combined sign area of wall signs, projecting signs, monument signs, illuminated architectural canopy signs, pole signs, roof signs and window signs shall not exceed four square feet for each foot of street frontage.	San Vicente Blvd. 252'-6"	1050 Sq. Ft.	81 Sq. Ft.

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CO ARCHITECTS

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CONSULTANT
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California 91030-3029
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W skadesign.com

REVISION DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
SIGN TYPE MENU & SIGN PROGRAM CHART

CSMC PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
07/16/2021

SHEET NUMBER
SG0.00

NOTE: THE COMPLETE SIGN PROGRAM TO BE SUBMITTED & PERMITTED DURING PLAN CHECK PHASE



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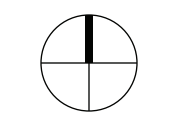
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SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

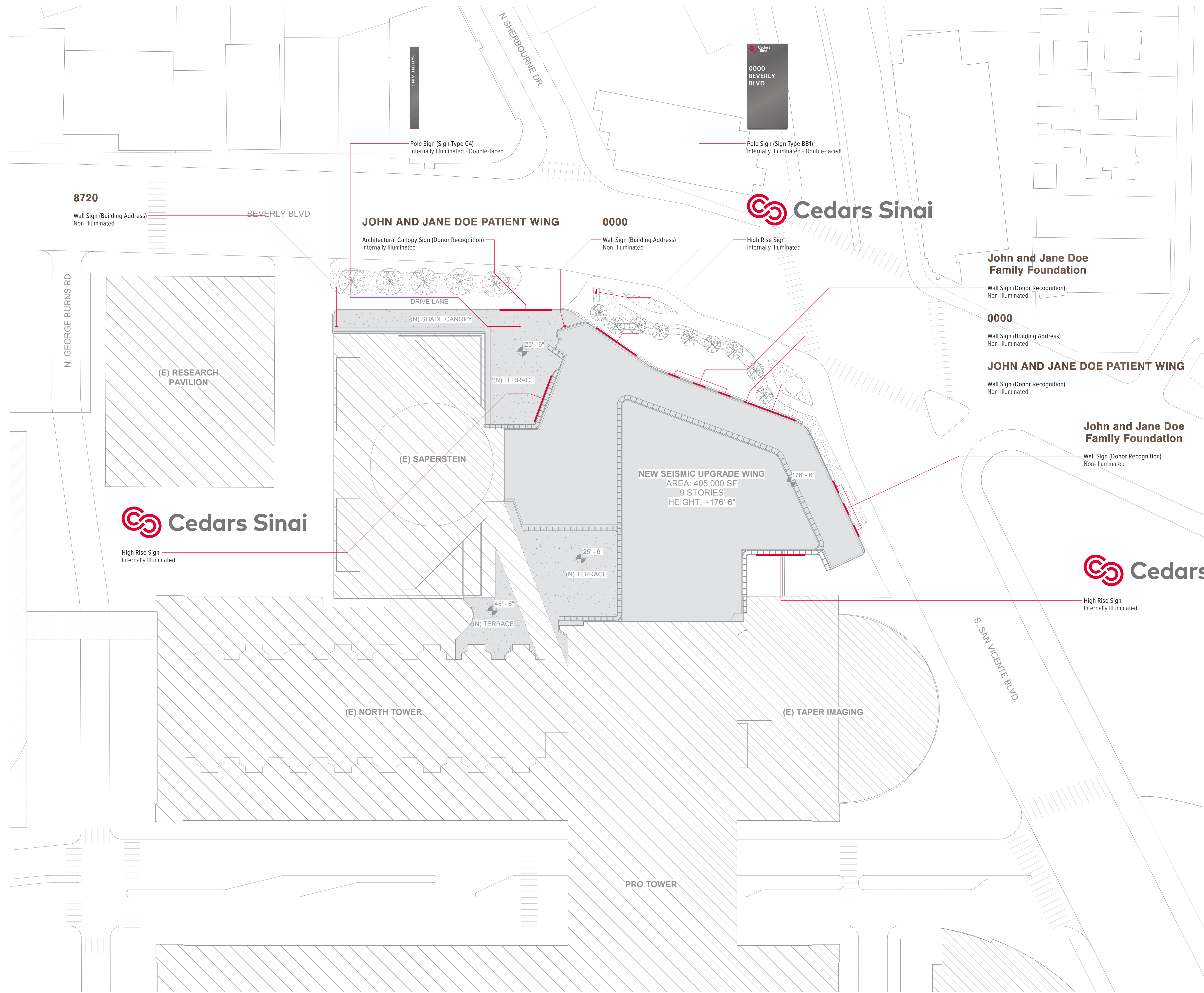
SHEET TITLE
SITE SIGN LOCATION PLAN

CSCM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/16/2021	SHEET NUMBER

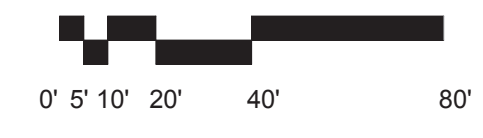
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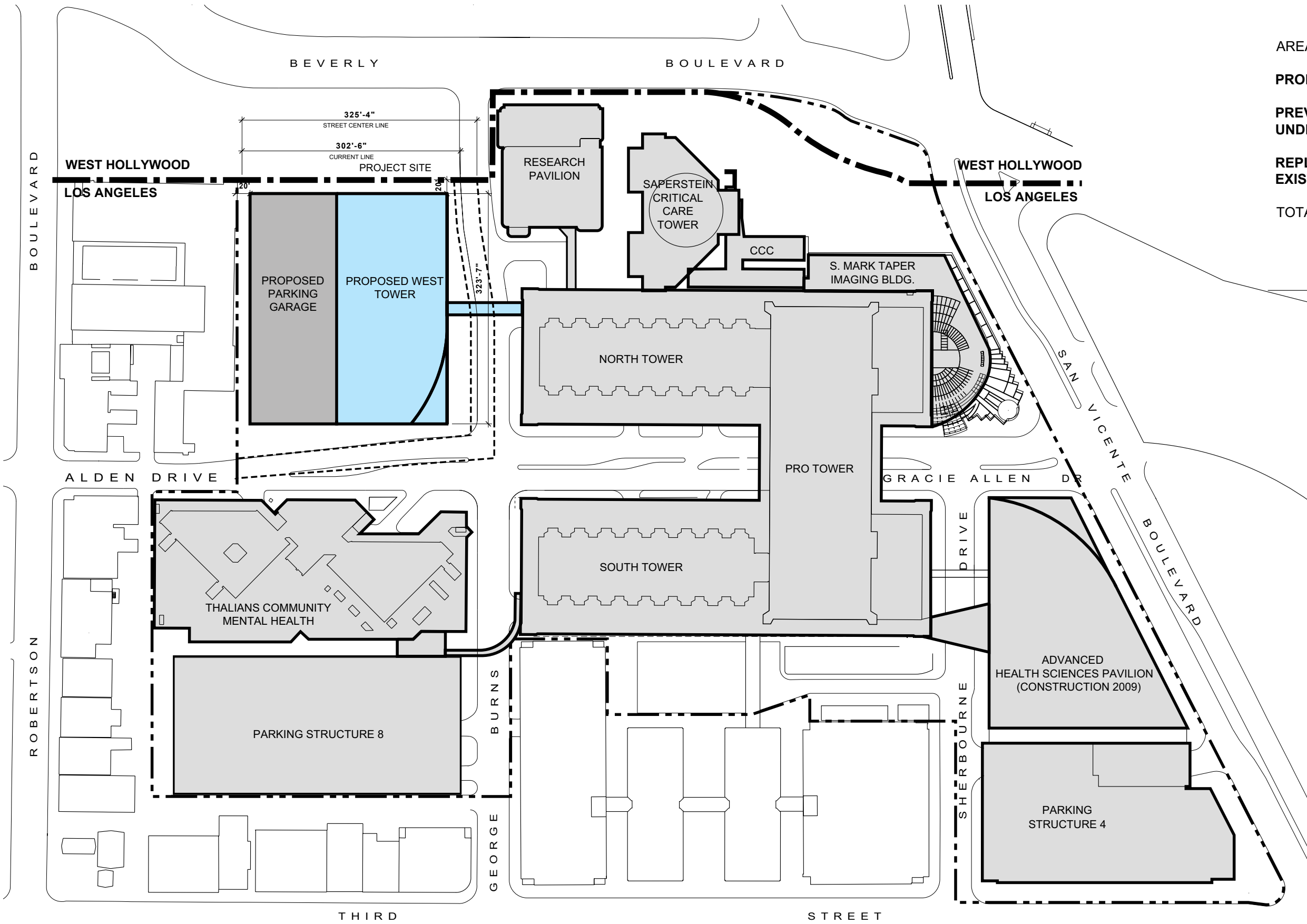


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SITE SIGN LOCATION PLAN
1" = 40'-0"

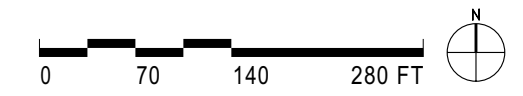




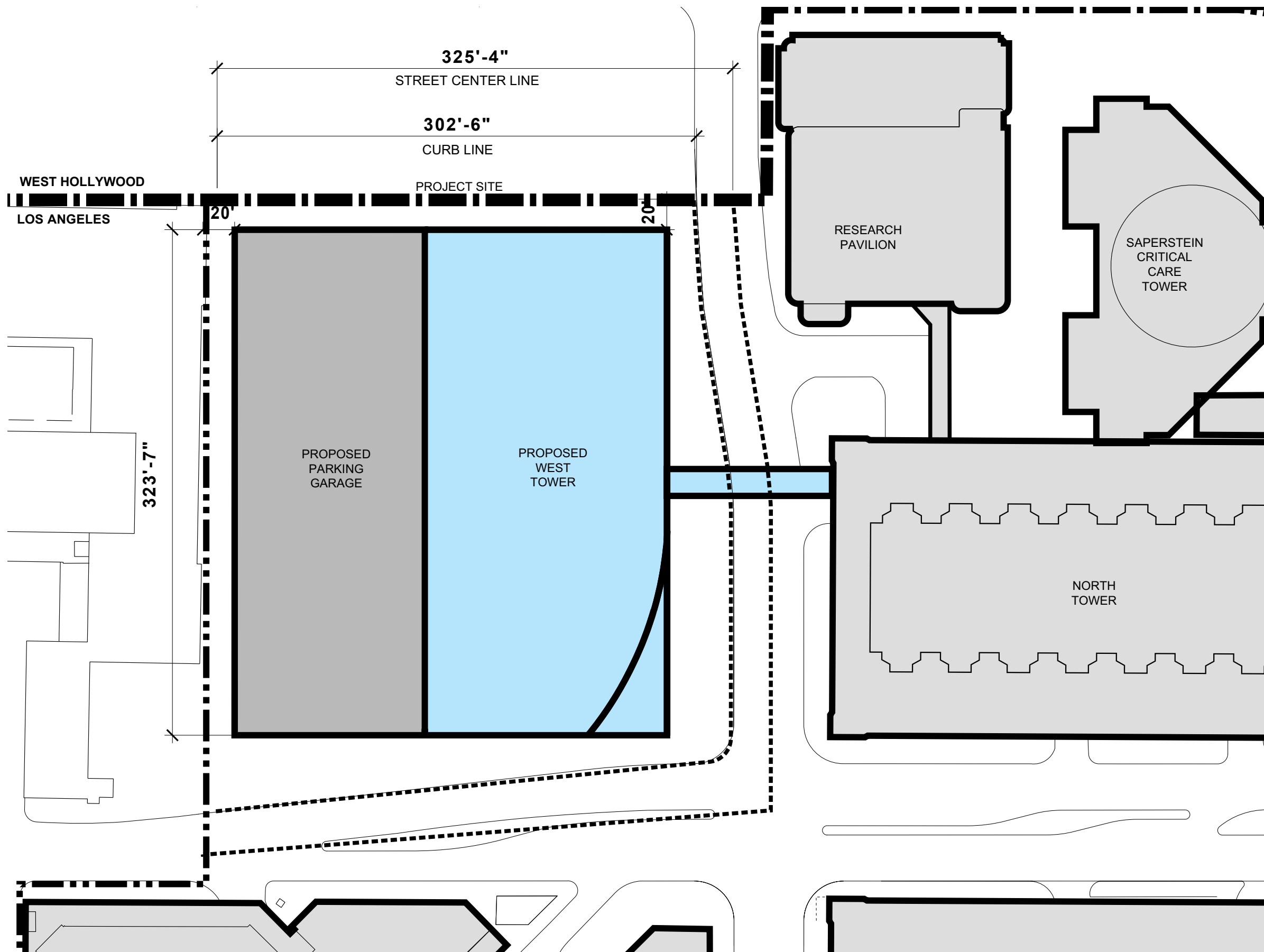
AREA TABLE (LAMC FLOOR AREA)

PROPOSED ADDITIONAL DEVELOPMENT	200,000
PREVIOUSLY APPROVED DEVELOPMENT UNDER 1993 MASTER PLAN	170,650
REPLACEMENT OF EXISTING BUILDING	90,000
TOTAL	460,650

PROPOSED WEST TOWER SITE PLAN



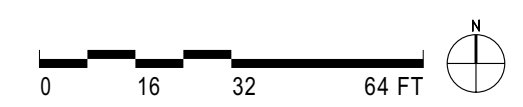
SCALE: 1"=140'-0"



AREA TABLE (LAMC FLOOR AREA)

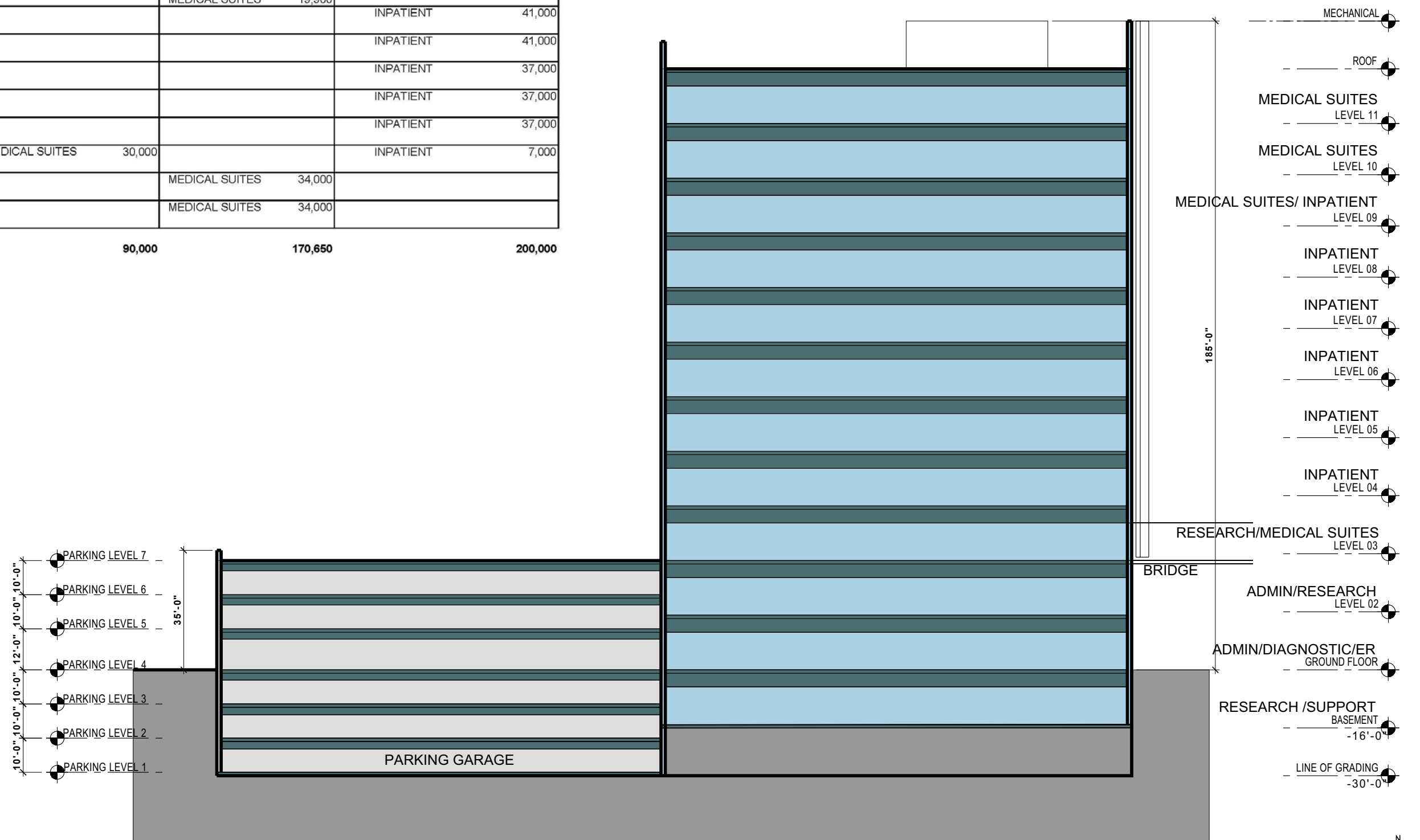
PROPOSED ADDITIONAL DEVELOPMENT	200,000
PREVIOUSLY APPROVED DEVELOPMENT UNDER 1993 MASTER PLAN	170,650
REPLACEMENT OF EXISTING BUILDING	90,000
TOTAL	460,650

PROPOSED WEST TOWER SITE PLAN



SCALE: 1"=32'-0"

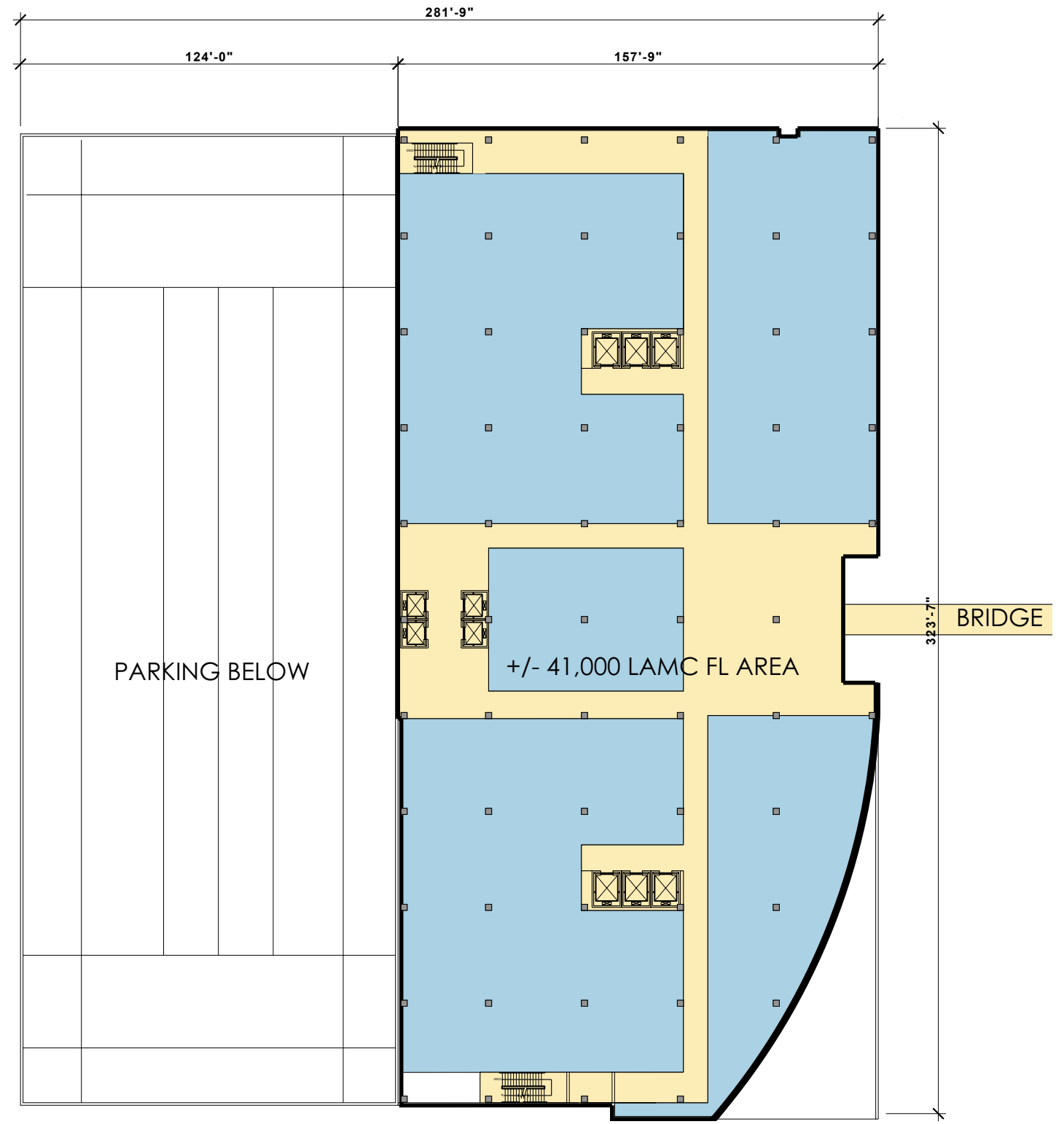
FLOOR LEVEL	TOTAL SF (LAMC FLOOR AREA)	PROPOSED FUNCTIONS	REPLACEMENT OF EXISTING SPIELBERG BUILDING	PREVIOUSLY APPROVED DEVELOPMENT	PROPOSED ADDITIONAL DEVELOPMENT
B1	41,022	RESEARCH SUPPORT	RESEARCH 30,000	SUPPORT 11,022	
GROUND FLR	40,610	DIAGNOSTIC/ER ADMIN	ADMIN 7,000	DIAGNOSTIC ER 110	33,500
2	41,118	ADMIN RESEARCH	ADMIN 23,000	REHAB ADMIN 5,118	13,000
3	39,900	RESEARCH MEDICAL SUITES		REHAB MEDICAL SUITES 19,900	20,000
4	41,000	INPATIENT			INPATIENT 41,000
5	41,000	INPATIENT			INPATIENT 41,000
6	37,000	INPATIENT			INPATIENT 37,000
7	37,000	INPATIENT			INPATIENT 37,000
8	37,000	INPATIENT			INPATIENT 37,000
9	37,000	MEDICAL SUITES INPATIENT	MEDICAL SUITES 30,000		INPATIENT 7,000
10	34,000	MEDICAL SUITES		MEDICAL SUITES 34,000	
11	34,000	MEDICAL SUITES		MEDICAL SUITES 34,000	
TOTAL SF	460,650		90,000	170,650	200,000



PROPOSED WEST TOWER SECTION

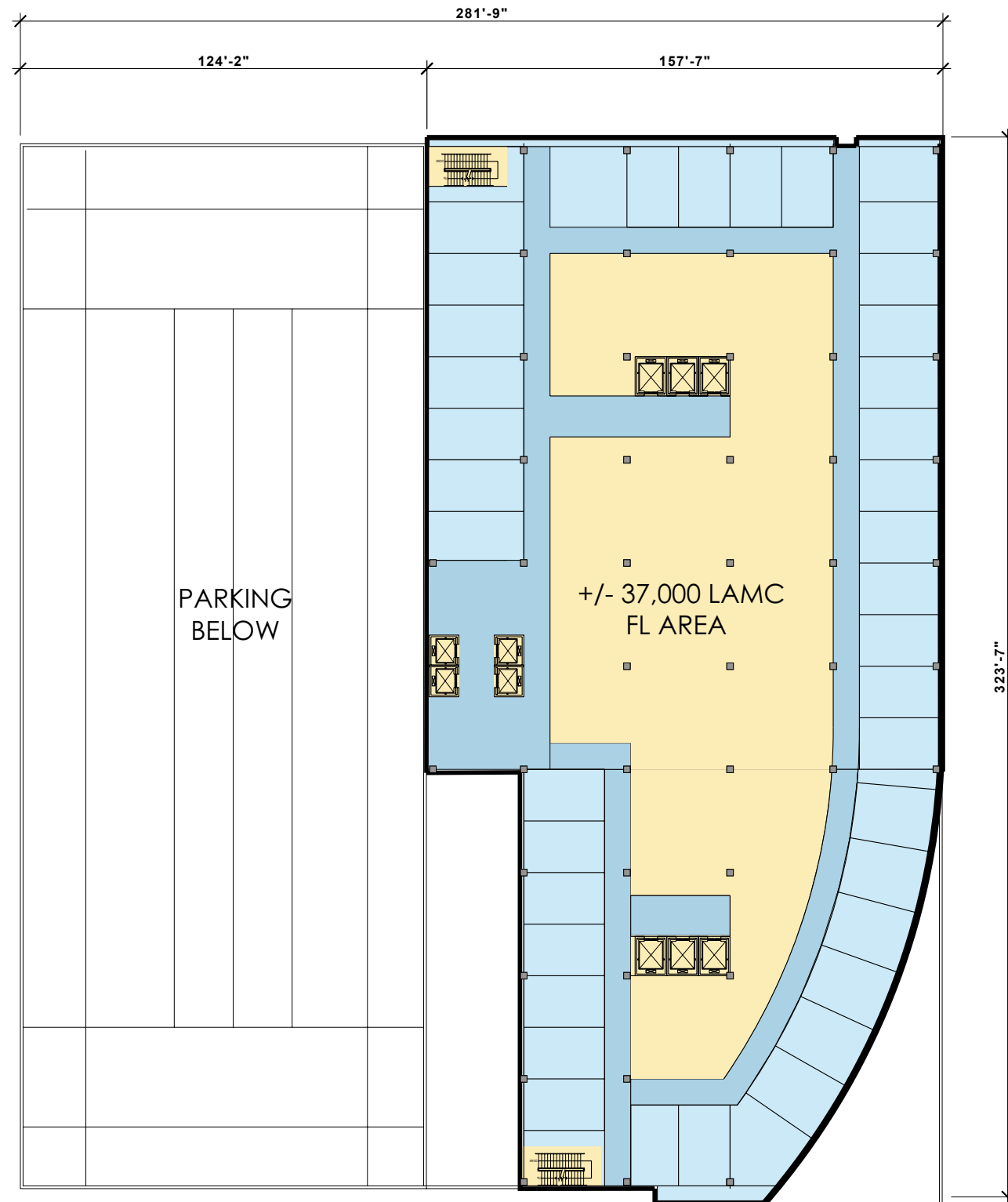


PLAN LEVELS BASEMENT, GROUND LEVEL, 2

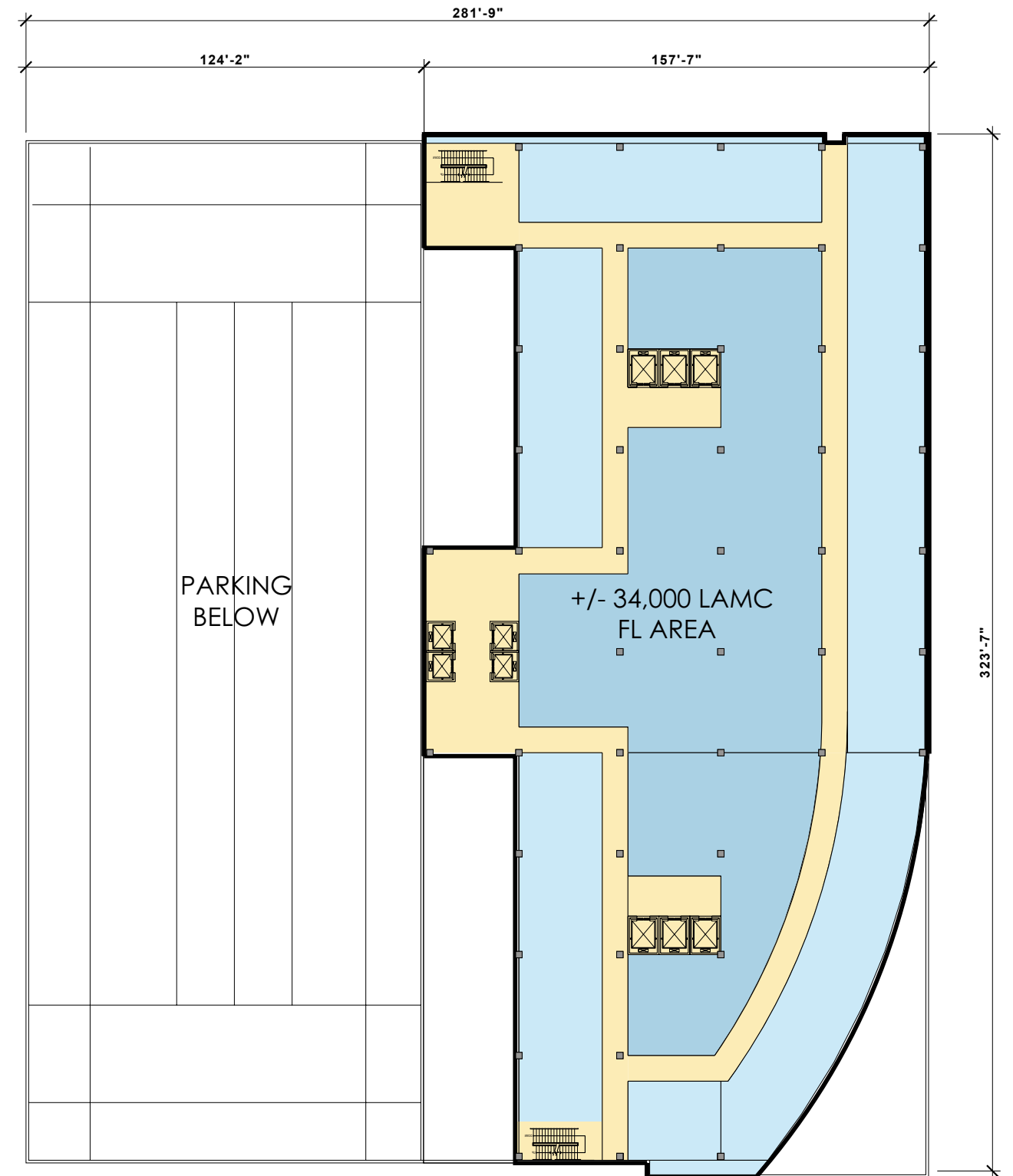


PLAN LEVELS 3, 4, 5

PROPOSED WEST TOWER PLAN DIAGRAMS



PLAN LEVELS 6, 7, 8, 9



PLAN LEVELS 10, 11

PROPOSED WEST TOWER PLAN DIAGRAMS



PROPOSED WEST TOWER FROM GRACIE ALLEN DR.



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PROPOSED WEST TOWER FROM BEVERLY BLVD.

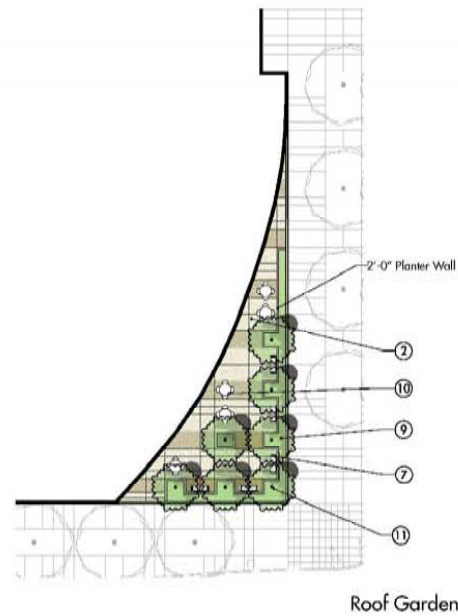


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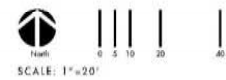


LEGEND

- 1 California Sycamore Tree — 12 Total
- 2 Integral Colored Concrete — Light Sandblast Finish
- 3 Integral Colored Concrete — Heavy Sandblast Finish
- 4 Seeded Aggregate to Match Color of Loose Aggregate
- 5 Loose Aggregate
- 6 Vegetated Swale to Capture Runoff from Adjacent Sidewalks. Planting to include native tall grasses as shown on Schematic Imagery board. Refer to Schematic Imagery Board sheet B7.1
- 7 Benches
- 8 Roof Garden (see above)
- 9 Planting Area
- 10 Cafe Table with Chairs
- 11 Palo Verde Tree — 7 Total
- 12 Pots
- 13 Phormium tenax - New Zealand Flax
- 14 Anigozanthos flavidus - Kangaroo Paw
- 15 Sansevieria trifasciata
- 16 Lyonothamnus floribundus ssp. asplenifolius - Catalina Ironwood Tree - 10 Total

NOTES

- A. Refer to architectural plans and diagrams for building and lot dimensions.
- B. No protected trees currently exist on the project site and none will be removed.



EPTDESIGN
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PROPOSED WEST TOWER LANDSCAPING PLAN



Loose Aggregate



Palo Verde Tree



Lyonothamnus floribundus ssp. asplenifolius
- Catalina Ironwood Tree



Bark of the California Sycamore Tree



Anigozanthos flavidus - Kangaroo Paw



Shadow Cast by a California Sycamore Tree



Phormium tenax - New Zealand Flax



Integral Colored Concrete



Sansevieria trifasciata



California Sycamore Tree



Pennisetum setaceum - Fountain Grass



California Sycamore Tree



Palo Verde Tree



Muhlenbergia rigens - Deer Grass



Site Furniture - Pots

PROPOSED WEST TOWER LANDSCAPING CONCEPT IMAGE



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SAPERSTEIN CRITICAL CARE TOWER



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PARKING STRUCTURE 4



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PARKING STRUCTURE 8

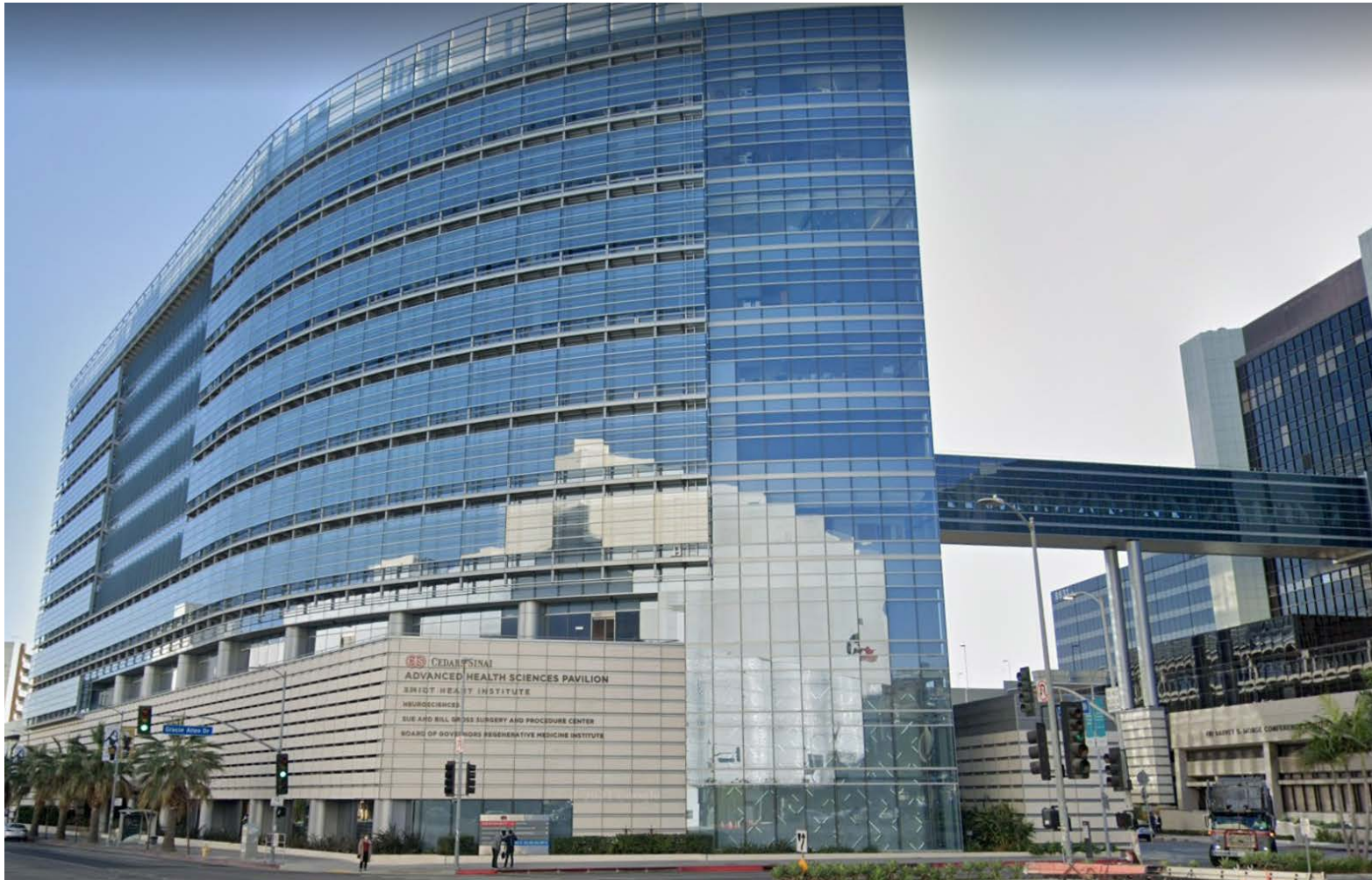


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